

The intent of the Standish Corner District is to strengthen and / or establish mixed-use, interconnected, village-scaled neighborhoods based on a development pattern that is fiscally responsible and environmentally sustainable. New neighborhoods and redevelopment opportunities will be characterized by vital civic spaces with quality streetscapes framed by pedestrian-scaled buildings. The standards for the Standish Corner District allow for a wide-range of residential, economic development and recreational opportunities, while promoting improved vehicular and pedestrian connectivity throughout the area.

A. Required Permitting:

- (1) Land uses in the Standish Corner District as prescribed by the Street Frontage Types shall require written approval from the Authority, as indicated, prior to issuance of a permit by the Code Enforcement Officer.
- (2) Permitted uses, not requiring Site Plan Review, are noted per Street Frontage Types. Such uses will require approval of the Code Enforcement Officer only.
- (3) Permitted Uses requiring Site Plan Review, are noted per Street Frontage Type. Such uses will require Planning Board approval in accordance with Part 2 (Site Plan Review) of this Chapter.
- (4) Permitted Uses requiring Subdivision Review, are noted per Street Frontage Type. Such uses will require Planning Board approval in accordance with Part 3 (Subdivision Review) of this Chapter.

**Whenever there appears to be a conflict between the Standish Corner District and other sections of the municipal code, such as, (Chapter 181 Land Use, Chapter 252 Streets & Sidewalks), as applied to a particular building development, the requirements specifically set forth in Standish Corner District shall prevail. Shoreland Zoning Standards supersede Standish Corner District Standards.**

B. In order to understand how the Standish Corner District Code functions there are five basic steps:

- (1) Refer to the Standish Corner District Regulating Plan, which is the code for existing Street Frontage Types and allowable connections to future Street Frontage Types. Find the subject property and the existing abutting Street Frontage Type. The Street Frontage Types (such as Town Main or Town Residential) establish the standards for development. The diagram in the upper corner of the Standish Corner District Regulating Plan depicts the Required Build-To-Line and the Parking Setback Line.
- (2) The Standish Corner District includes the following hierarchical Street Frontage Types (which can be considered as different types of neighborhoods):
  - a. Town Center (TC) Frontage Type: The primary intent of this Street Frontage Type is to strengthen the mixed-use, pedestrian-oriented, traditional street form of the historic Standish Corner.

NOTE: NO FUTURE TC STREETS ALLOWED

- b. Town Main (TM) Street Frontage Type: The primary intent of this Street Frontage Type is to encourage a pedestrian-oriented, traditional street form (following the historic eight-rod range way alignment on Route 25), minimizing curb cuts and avoiding the cluttered appearance often associated with “strip mall” style development.

NOTE: NO FUTURE TM STREETS ALLOWED

- c. Town Avenue (TA) Street Frontage Type: The primary intent of this Street Frontage Type is to provide a development pattern that transitions between the more arterial / historic alignment of the TM or Town Gateway (TG) Street Frontage Types and the Town Residential TR Type neighborhoods surrounding the higher density historic core, arterials and corridors. The TA Street Frontage Type is a walkable environment defined by the scale and placement of buildings and includes a mixture of compatible residential, retail, entertainment, professional and live work uses

NOTE: FUTURE TA STREETS ALLOWED

- d. Town Gateway (TG) Street Frontage Type: The intent of this Frontage Type is to provide for areas of development within the Standish Corner District that are not pedestrian oriented and are not primarily defined by the placement of buildings and the quality of the streetscape as much as the buffering of buildings to maintain or create a rural, visually uncluttered character along the major arterials (Routes 25 and 35).

NOTE: NO FUTURE TG STREETS ALLOWED

- e. Town Residential (TR) Frontage Type: The intent of this Frontage Type is to reinforce the character of existing traditional neighborhoods and to encourage the development of new or retrofitted residential neighborhoods consistent with traditional and walkable neighborhood street patterns surrounding and directly supporting the social, cultural and economic activities of the TC, TM, TA and TG Street Frontage Types.

NOTE: FUTURE TR STREETS ALLOWED

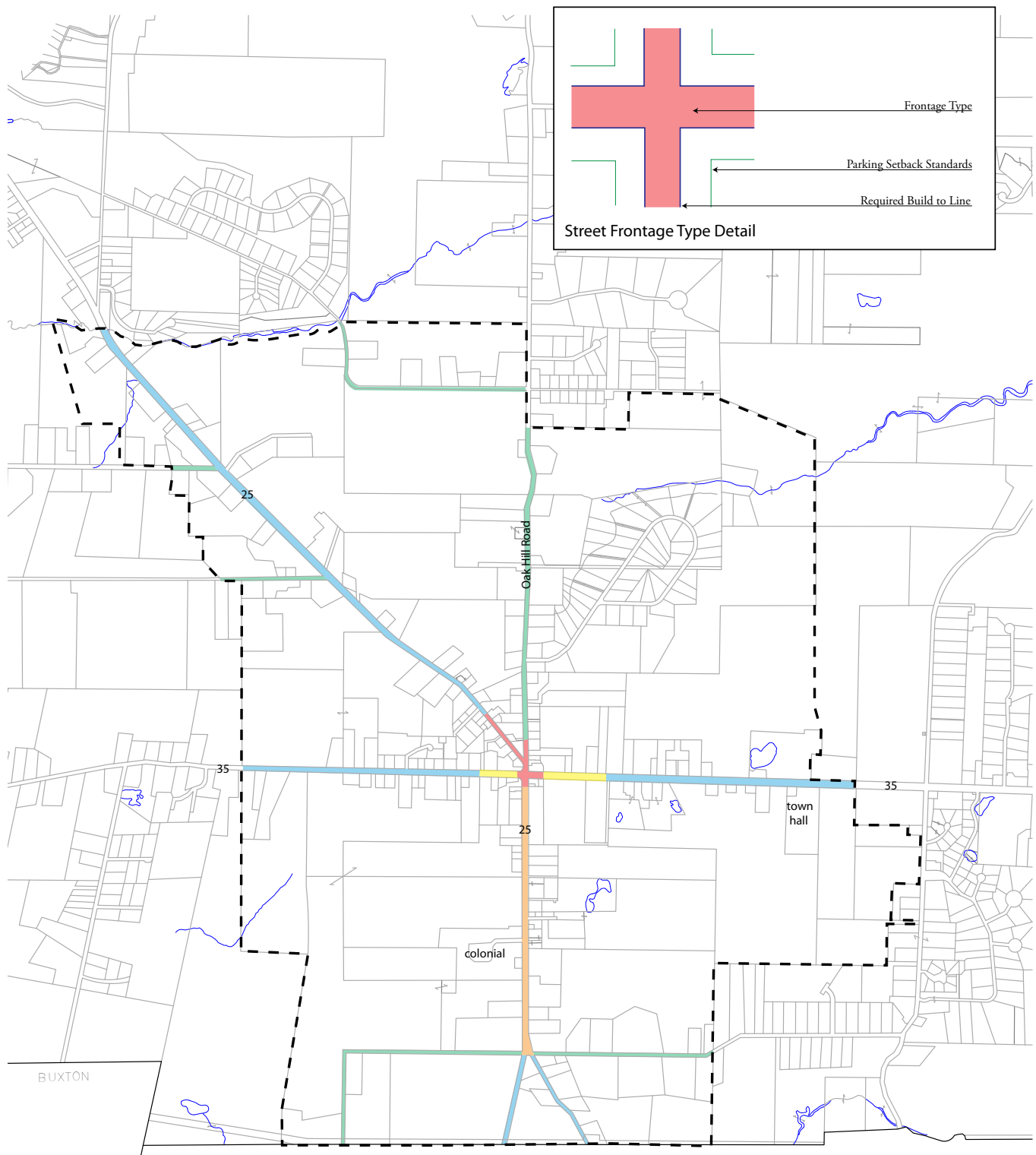
**NOTE: These Street Frontage Types are listed by hierarchy. When a parcel is a corner lot, the standards of the Street Frontage Type with greater hierarchy prevail.**

- (3) Once the parcel is located, refer to the appropriate Building Development Standards as defined by the Street Frontage Types Standards in this Section. The Street Frontage Types outline the specific details for such issues as building placement, parking location, building form, block lengths, streetscapes and uses.
- (4) For Site Plan Review: Proceed to Chapter 181, Part 2: Site Plan Review, Article XI (Review Required Procedure), 181.69 – 181.72.
- (5) For Subdivision Review Proceed to Chapter 181, Part 3: Subdivision Regulations, 181.74 – 181.99.

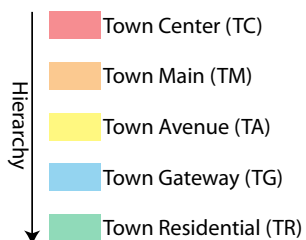
- C. The Standish Corner District is comprised of the following standards, which guide the form and pattern of development in the Standish Corner District: the Regulating Plan, Street Frontage Types, the Building / Parking Placement Standards, Block Lengths and Intersections, Standards and Streetscape / Street Space Standards and Building Form.
- (1) **Regulating Plan:**  
The Regulating Plan is the coding key for the Standish Corner District that identifies existing Street Frontage Types, provides a key for future allowable Street Frontage Types and the related standards such as building form and placement, streetscapes and the resulting development patterns.
  - (2) **Street Frontage Types:**  
Street Frontage Types illustrate the specific aspects of the built environment in the Standish Corner District including building / parking placement, building form, streetscapes block lengths / intersections and allowable uses.
  - (3) **Building / Parking Placement Standards:**  
The Building / Parking Placement Standards establish basic parameters governing building form, including the envelope for building placement (in three dimensions) and the location of off-street parking and access driveways. The intent of the Building / Parking Placement Standards is to shape vital public space in the Standish Corner District through the placement of buildings that frame and activate the public realm in a manner appropriate for the context.
  - (4) **Block Lengths / Intersections:**  
The purpose of the Block Length / Intersection Standards is to establish interconnected neighborhoods that are walkable and have appropriate transitions from different Street Frontage Types, which vary in density, streetscape / street space and intensity of land use. A critical aspect of the Standish Corner District is to utilize the back lands off of Routes 25 and 35 for a range of open space, housing and economic development opportunities, all while creating a network of interconnected neighborhoods. A block length is the allowable distance between intersections. Intersections determine the allowable transitions between Street Frontage Types.
  - (5) **Streetscape / Street Space Standards:**  
The purpose of the Streetscape / Street Space Standards is to ensure coherent street spaces and to assist builders with understanding the relationship between the public realm of the Standish Corner District and their own building. These standards set the parameters for the placement of street trees, sidewalks and other streetscape amenities that define the street space (generally defined as the space between the face of buildings on either side of a street) as a pedestrian-friendly environment.
  - (6) **Building Form Standards:**  
The goal of the Building Form Standards is to establish a baseline understanding of the architectural quality of buildings (in addition to building placement and other criteria such as height) such as materials, fenestration and construction techniques. Contemporary architecture may complement historic buildings. The replication of specific styles is not required.

D. General Notes:

- (1) All developments in the Standish Corner District shall be on public water and include buried utilities unless a waiver is granted per Sections 181.72 or 181.95.
- (2) Each Street Frontage Type has a range of “triggers” allowing for the relaxation of the required standards as part of conditional review by the Planning Board.
- (3) Parking shall be provided and located in compliance with the Street Frontage Type, and/or designed in compliance with Chapter 181-20 (Off-Street Parking Design), Chapter 181-24 (Off-Street Parking & Loading Space Requirements), and Chapter 140 (Fire Lanes).



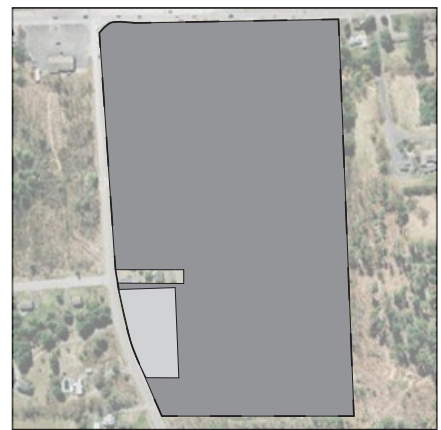
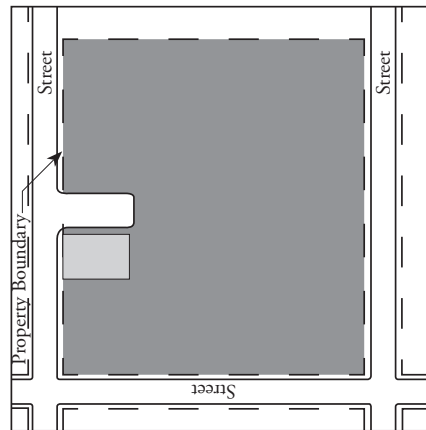
Legend



**Standish Corner District Regulating Plan**

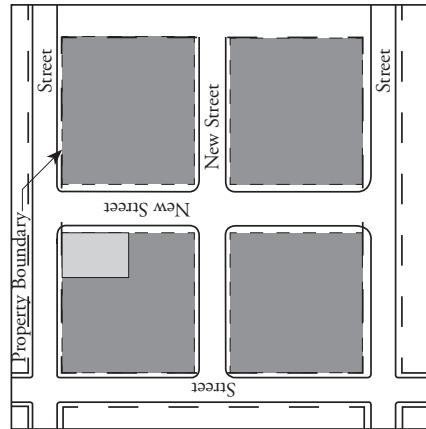
A. Site

Begin with “Pioneer Lot” to be subdivided from larger lot, triggering perpendicular “block” and allowable “Frontage Street Type” to access development. Utilize “Frontage Street Type” as required parking for development. The developer will build the street to the required standards and in turn the town will accept and maintain the street. This begins the block/connectivity process.



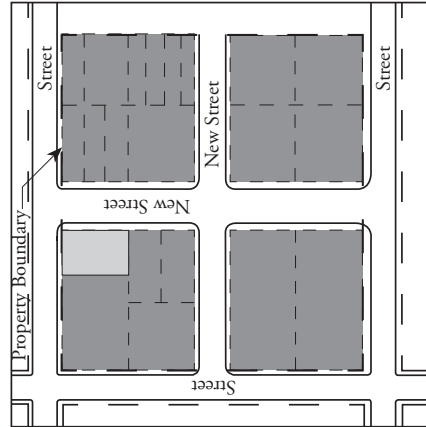
B. Introduce Streets/Blocks

Sites being subdivided shall introduce streets from the list of allowable “Frontage Street Types” (see Standish District Regulating Plan), complying with “Frontage Street Types”, block length and connectivity standards, triggering conceptual Connectivity Master Plan, which shows connections to adjacent parcels and streets.



C. Introduce Lots

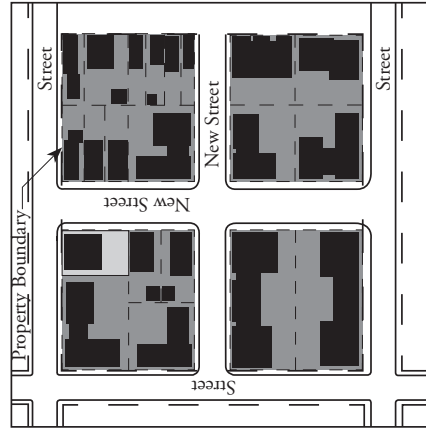
Lots are created following standards for “Frontage Street Types” establishing neighborhood character, land uses and requiring connectivity within the project and to adjacent land. A conceptual Connectivity Master Plan is a condition of approval for Site Plan or Subdivision review by the Planning Board.



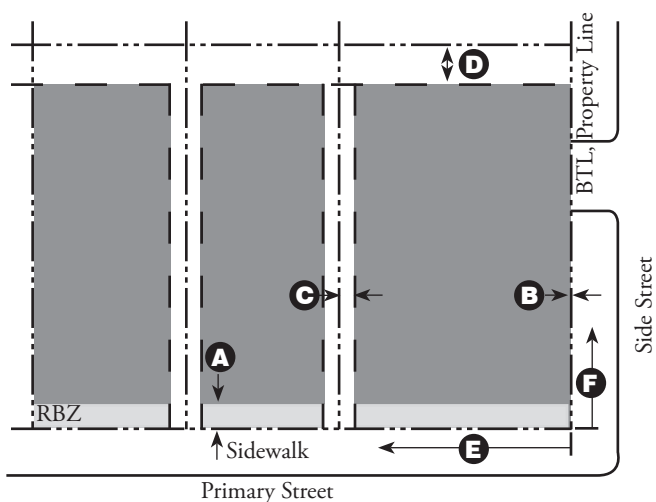
D. Introduce Building Forms

Place buildings on parcels per “Frontage Street Type.”

The intent of the Connectivity Master Plan is to encourage a contextual / long-term approach to development be it a single site or a subdivision.



## Town Center (TC) Standards



### Key

--- Property Line	— Setback Line
Build-to-Zone (RBZ)	Building Area

### Building Placement

#### Build-to-Zone (Distance from Property Line)

Front	0' min. - 10' max.	<b>A</b>
Side Street, corner lot	0'	<b>B</b>

\* For redevelopment properties where adjacent buildings are set back less than 12' from the public right of way, the Front Build-to-Zone maximum may be set to align with the front face of immediately adjacent properties.

#### Setback

Side	5' min.	<b>C</b>
Rear	10' min.	
Adjacent to residential	10' min.	<b>D</b>
Adjacent to any other use	5' min.	<b>D</b>

#### Building Form (relationship between building width and lot width)

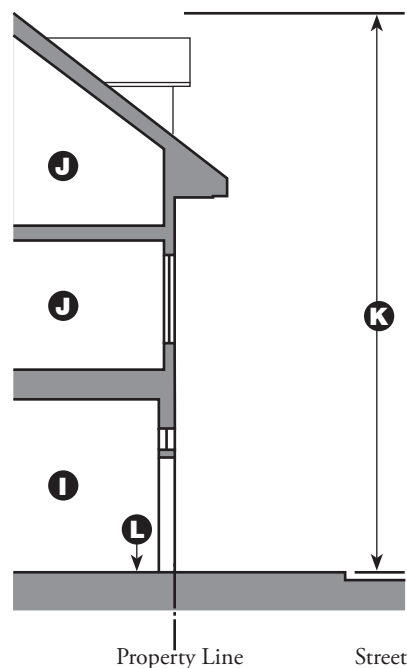
Primary Street RBZ	60 min.-80% max.	<b>E</b>
Side Street, Corner Lot RBZ	30% min.	<b>F</b>

### Notes

Rear facing buildings, loading docks, overhead doors, and other service entries are prohibited on street-facing facades.

All floors must have a primary ground-floor entrance which faces the street.

Maximum 5,000 square foot building footprint.



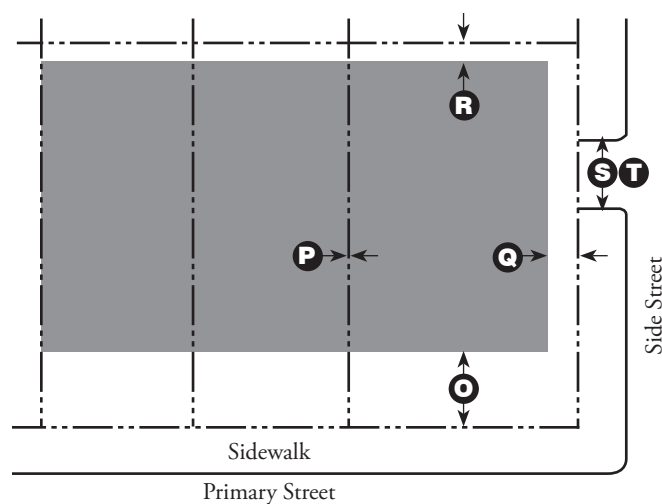
### Use

Ground Floor	Service, Retail, Entertainment, Education and Public Assembly	<b>I</b>
Upper Floor(s)	Residential, Retail and Service	<b>J</b>

### Height

Building Minimum	16'	<b>K</b>
Building Maximum	2.5 Stories	<b>K</b>
Ancillary Building Maximum	1.5 Stories	
Finish Ground Floor Level	12" max. above sidewalk	<b>L</b>

\*All heights measured to eaves or top of parapet.

**Key**

---Property Line

■ Parking Area

**Parking****Location (Distance from Property Line)\***

Front Setback	20' min.	<b>O</b>
Side Setback	0' min.	<b>P</b>
Side Street Setback	10' min.	<b>Q</b>
Rear Setback	5' min.	<b>R</b>

\*A 15' setback is required when adjacent to an existing residential use.

**Required Spaces****Ground Floor**

Uses < 3,000 sf (1 Story)	1 space/200 sf
Uses < 3,000 sf (2 Story)	No off-street parking required
Uses > 3,000 sf	1 space/400 sf

**Upper Floor(s)**

Residential uses	1 space/unit; .5 space/studio
Other uses	1 space/600 sf

Parking Drive Width	16' min.	<b>S</b>
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Or as required by Standish Fire Department

On corner lots, parking drive shall not be located on primary street.	<b>T</b>
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**Notes**

Shared drives are encouraged between adjacent lots to minimize curb cuts.

Parking may be provided off-site within 1,300', on-site or as shared parking. 50% of off-street parking may utilize compact dimensions.

**Street Space (see page 12)****Location (Width Distances)**

Sidewalk	8' (Both Sides)	<b>U</b>
Amenity Zone	8' (Both Sides)	<b>V</b>
Shoulder	6' (Two Lanes)	<b>W</b>
Travel Lanes	11' (Two Lanes)	<b>X</b>

**Blocks & Intersections**

Block length	250' min. 450' max.
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Intersection	TA (new street)
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**Conditional Review Triggers**

Proposed or existing buildings not meeting min. RBZ street frontage requirement

Proposed projects not utilizing TC required parking spaces

Proposed buildings more than fifty (50) feet along RBZ street frontage

Proposed lot does not meeting min. required lot size of 20,000 square feet

## **Town Center (TC) Allowed Land Uses and Permit Requirements**

Refer to the Standish Corner District Regulating Plan for the location of Street Frontage Types to determine permitted uses.

Non-conforming uses as of the date of this Ordinance or as revised are subject to standards of Article 5: Nonconforming Uses. When Site Plan review is triggered, the use and / or structure shall comply with applicable Street Frontage Type standards to the greatest extent practicable.

Planning Board Review is required for new construction, expansion, reconstruction and subdivision, but CEO approval is only required for subsequent uses in existing structures that:

1. Do not increase anticipated traffic volumes by 10%
2. Do not change vehicular traffic patterns
3. Do not increase parking requirements by more than 10%
4. Do not change the exterior visual appearance of buildings and continue to meet the applicable Street Frontage Type standards.
5. That are eligible for a permit by CEO per Street Frontage Type

Permitted uses, not requiring site plan review, shall be as follows. Such uses shall require approval from the Code Enforcement Officer only:

Accessory uses and buildings

Dwelling, one unit

Dwelling, two units

Dwelling, Studio

Home occupation level 1

Home occupation Level 2

Home occupation level 3

Home retail sales

Outdoor display and sales

Yard or garage sale

Tradesman

Permitted uses requiring site plan or subdivision review shall be as follows. Such uses shall require Planning Board approval, in accordance with Section 181.7.1, Part 2 or Part 3 of this chapter:

Art center – indoor

Art gallery/museum

Business profession office

Cafe

Convenience store

Dwelling, multiple family

Inns

Municipal uses

Public utility

Public house

Restaurant (includes outdoor dining)

Retail businesses

Schools

## Building Form Standards

A. Window and Door to Façade Ratios:

- (1) Blank lengths of wall exceeding twenty (20) linear feet are prohibited on all RBZ's.
- (2) Fenestration on the ground story façades shall comprise at least fifty percent (50%), but not more than ninety percent (90%) of the façade area situated between two (2) and eight (8) feet above the adjacent public sidewalk on which the façade fronts.
- (3) Fenestration on the upper story façades shall comprise at least thirty percent (30%), but no more than seventy percent (70%) of the façade area per story (measured as a percentage of the Façade between floor levels).
- (4) The building façade may include jogs within the RBZ to articulate entrances, break down the form of the building or create outdoor areas for seating or the display of goods.

B. Building Projections:

- (1) Awnings, porches and stoops shall not project closer than five (5) feet to a common lot line.
- (2) No part of any building, except projecting signage, overhanging eaves, balconies, bay windows and awnings, shall encroach beyond the minimum required RBZ. An Eight (8) foot clearance must be maintained between the ground and the bottom of the projecting encroachment. The top of projecting signage or awnings shall not be placed higher than the second story floor plate.

C. Doors/Entries:

- (1) Functioning entry door(s) shall be provided along ground story façades at intervals not greater than fifty (50) linear feet.

D. Building Walls:

- (1) Windows and doors openings shall not span vertically more than one story.
- (2) Window openings shall correspond to interior space and shall not span across building structure such as floor structural and mechanical thickness.
- (3) Wall materials shall be consistent horizontally (ie. joints between different materials must be horizontal and continue around corners) except for chimneys and piers.
- (4) Material changes shall be made within constructional logic – as where an addition (of a different material) is built onto the original building.

E. Street Walls:

Street walls (stone, wrought iron, brick, wood or a combination of materials) establish a clear edge to the street where the buildings do not define outdoor space and separate the street from the private realm (parking lots, trash disposal bins, gardens, and equipment). Street walls shall be between 20 and 40 inches in height and are permitted along the frontage and common lot lines. All street wall shall be as carefully designed as the building façade, with the finished side out, ie. The “better” side facing the Street.

F. Windows and Doors:

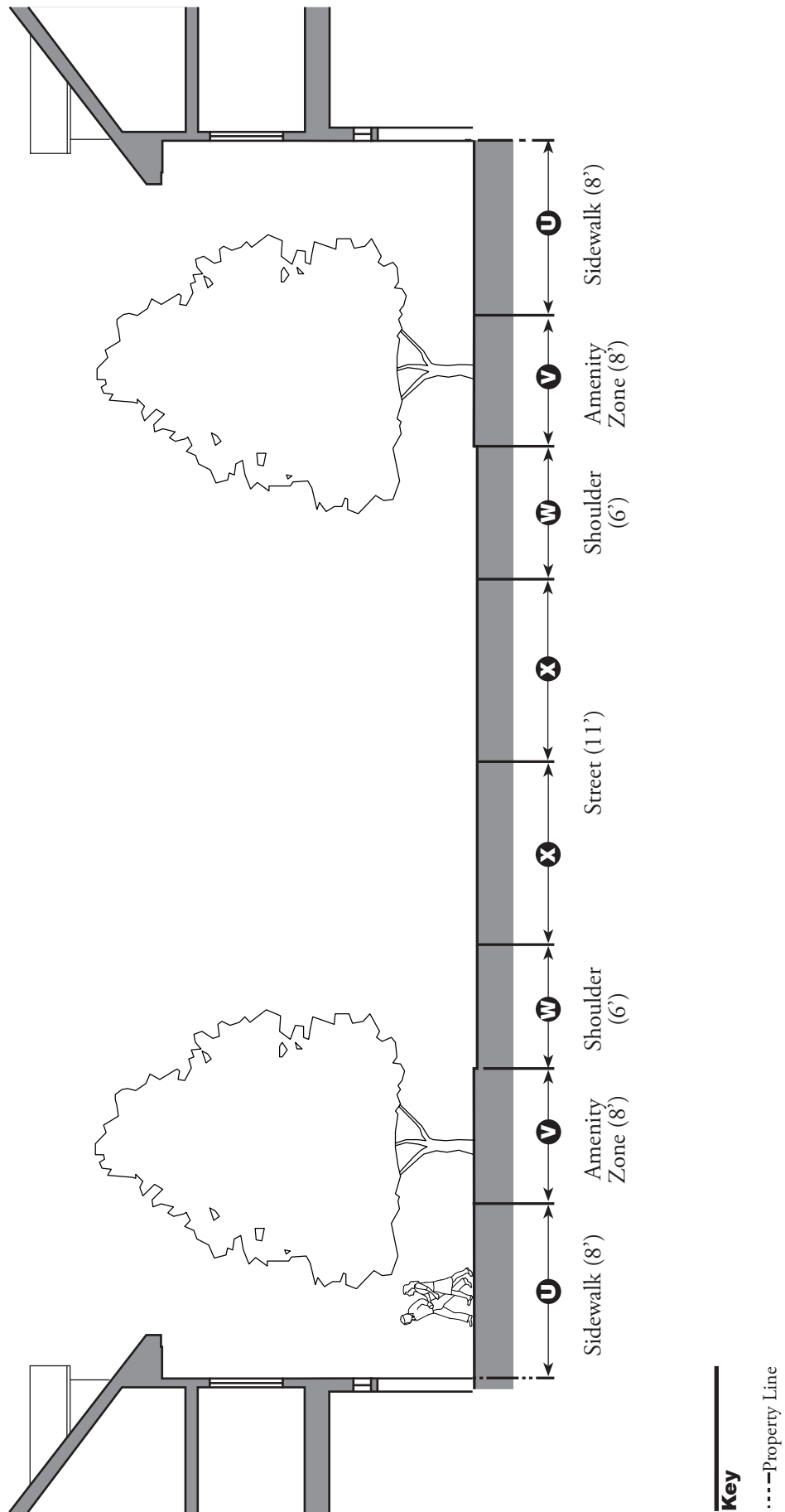
- (1) Window glass shall be clear, with light transmission at the ground story at least 90% and for the upper stories 75% (modification as necessary to meet any applicable building code requirements).
- (2) Doors shall be of wood, glass, clad wood, steel or a combination thereof.
- (3) Tinted glass is not allowed. Ultra violet protection glass of the highest transparency is allowed.

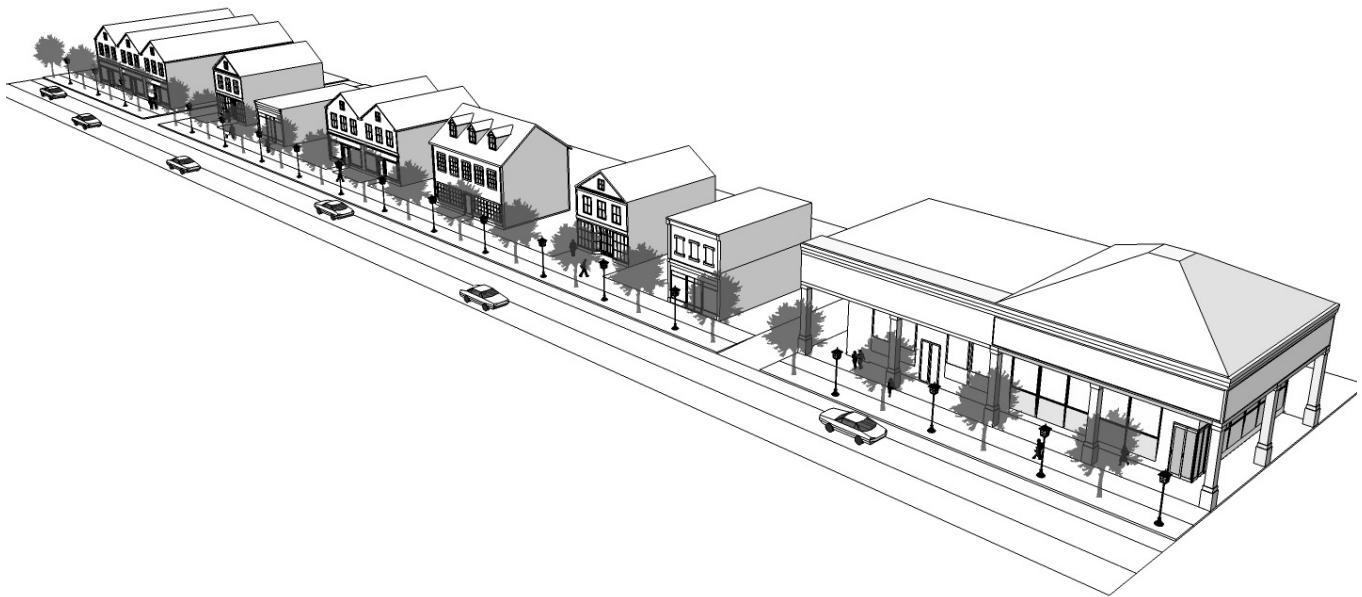
F. Green Building Design Standards

- (1) Best management practices for energy efficiency and low impact development are encouraged. Utilize LEED design standards as established by The US Green Building Council or similar organizations.

## Streetscape Standards

- A. Sidewalks and Curbs:
- (1) Brick, brick pavers and / or concrete (pervious / porous materials encouraged. Fly ash concrete encouraged)
  - (2) Vertical granite curbing
- B. Lighting:
- (1) LEDs encouraged
  - (2) Full cut-off fixtures required
  - (3) Pedestrian-scaled lighting 30' o.c. or street-scaled lighting max. 90' o.c. staggered along both sides of the street
- C. Street Trees:
- Salt and urban tolerant. 3" min. caliper. 30' o.c. Plant in 6' x 6' x 6" granite planting strips or in 6' x 6' decorative tree grates (Tree Boxes for managing stormwater - street, roof drains - encouraged). Tree trunk shall be a minimum of three feet (3) from curb line or edge of shoulder
- D. Other Streetscape Amenities (shall be coordinated in style, color and materials):
- (1) Benches
  - (2) Bike racks
  - (3) Trash receptacles
  - (4) Lighting
- E. Parking
- (1) Off-street
  - (2) Remote within 1,300 feet
  - (3) Shared
  - (4) 50% of parking may utilize compact space dimensions
- F. Signage
- (1) Building mounted in signable area: Maximum thirty two (32) square feet
  - (2) Building mounted by entrances serving second floor: Maximum four (4) square feet, including all tenants
  - (3) Projecting: Minimum eight foot (8) clearance. Maximum six (6) square feet
  - (4) Sandwich boards : Four (4) square feet maximum
  - (5) No signs permitted above second story floor plate, including signs in windows
  - (6) Sandwich boards permitted during hours of operation. May not impede pedestrian movement
  - (7) Externally lit signs only
  - (8) Cut-off light fixtures required
  - (9) LEDs encouraged
  - (10) Wood, composite, or metal materials only. Plastic signs not permitted
  - (11) Neon signs not permitted
- G. Low Impact Development Standards:
- Utilize as feasible as defined in Section 181.7.1.2





Town Center Street Frontage Type Concept Perspective



Town Center Street Frontage Type Concept Elevation



Town Center Street Frontage Type Concept Sidewalk Perspective



Town Center Street Frontage Type Concept Street Perspective

## Town Main (TM) Standards



### Key

- Property Line
- Setback Line
- Build-to Line (RBL)
- Building Area

### Building Placement

#### Build-to-Line (Distance from Property Line)

Front	0' (8 Rod)	<b>A</b>
Side Street, corner lot	15' max.	<b>B</b>

#### Setback

Side	10' min.	<b>C</b>
Rear	10' min.	<b>D</b>

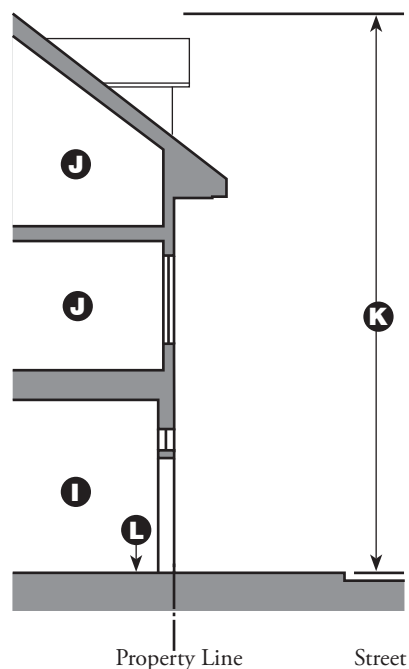
#### Building Form (relationship between building width and lot width)

Primary Street RBL	50% min. 80% max	<b>E</b>
Side Street, Corner Lot built to RBL	30% min	<b>F</b>

### Notes

All floors must have a primary ground-floor entrance which faces the street.

Rear facing buildings, loading docks, overhead doors, and other service entries are prohibited on street-facing facades.



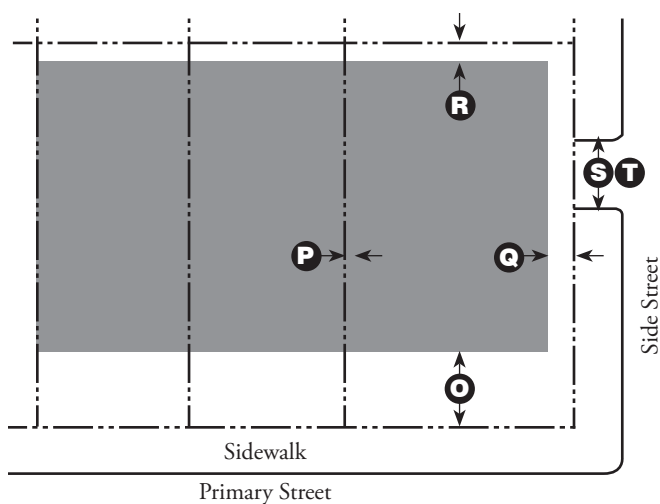
### Use

Ground Floor	Service, Retail, Entertainment, Education, Public Assembly & Residential	<b>I</b>
Upper Floor(s)	Residential, Service or retail	<b>J</b>

### Height

Building Minimum	16'	<b>K</b>
Building Maximum	2.5 Stories	<b>K</b>
Accessory Structure Maximum	1.5 Stories	
Finish Ground Floor Level	12" max above sidewalk	<b>L</b>

\* All heights measured to eaves or top of parapet.

**Key**

--- Property Line

■ Parking Area

**Parking****Location (Distance from Property Line)\***

Front Setback	20' min.	<b>O</b>
Side Setback	0' min.	<b>P</b>
Side Street Setback	5' min.	<b>Q</b>
Rear Setback	5' min.	<b>R</b>

\*A 15' setback is required when adjacent to an existing residential use.

**Required Spaces****Ground Floor**

Uses < 3,000 sf (1 Story)	1 space/200 sf
Uses < 3,000 sf (2 Story)	No off-street parking required
Uses > 3,000 sf	1 space/400 sf

**Upper Floor(s)**

Residential uses	1 space/unit; .5 space/studio
Other uses	1 space/600 sf

Parking Drive Width	16' max*	<b>S</b>
Or as required by Standish Fire Department		
On corner lots, parking drive shall not be located on primary street.		<b>T</b>

**Notes**

Shared drives are encouraged between adjacent lots to minimize curb cuts.

Parking may be provided off-site, off-street or within 1,300' as shared parking. 50% of off-street parking. May utilize compact dimensions.

**Street Space (see page 20)****Location (Width Distances)**

Sidewalk	8' (Both Sides)	<b>U</b>
Esplanade	6' (Both Sides)	<b>V</b>
On-Street Parking*	8' (Both Sides)	<b>W</b>
Bike Lane	5' (Both Sides)	<b>X</b>
Travel Lanes	11' (Existing)	<b>Y</b>

\*On-Street Parking is permitted with Planning Board approval.

**Blocks & Intersections**

Block length	250' - 450'
Intersection	TA (new street)

**Conditional Review Triggers**

Proposed buildings over 5,000 square feet  
 Proposed or existing buildings not meeting min. RBL street frontage requirement  
 Proposed projects not utilizing TM required parking spaces  
 Proposed buildings wider than fifty (50) feet along RBL street frontage  
 Proposed lot does not meeting min. required lot size of 20,000 square feet

### **Town Main (TM) Allowed Land Uses and Permit Requirements**

Uses not listed are not permitted. Non-conforming uses as of the date of this Ordinance or as revised are subject to standards of Article 5: Nonconforming Uses. When Site Plan review is triggered, the use and / or structure shall comply with applicable Street Frontage Type standards to the greatest extent practicable.

Planning Board Review is required for new construction, expansion, reconstruction and subdivision, but CEO approval is only required for subsequent uses in existing structures that:

1. Do not increase anticipated traffic volumes by more than 10%
2. Do not change vehicular traffic patterns
3. Do not increase parking requirements by more than 10%
4. Do not change the exterior visual appearance and continue to meet the applicable Street Frontage Type standards.
5. That are eligible for a permit by CEO per Street Frontage Type

Permitted uses, not requiring site plan review, shall be as follows. Such uses shall require approval from the Code Enforcement Officer only:

Accessory uses and buildings  
Dwelling, one unit  
Dwelling, two units  
Dwelling, studio  
Family apartment (grandfathered single-family home only)  
Home occupation level 1  
Home occupation Level 2  
Home occupation level 3  
Home retail sales  
Outdoor display and sales  
Tradesman  
Yard or garage sale

Permitted uses requiring site plan or subdivision review shall be as follows. Such uses shall require Planning Board approval, in accordance with Section 181.7.1, Part 2 or Part 3 of this chapter:

Adult day care  
Art center – indoor  
Art gallery/museum  
Bed & breakfast (grandfathered single-family home only)  
Business profession office  
Cafe  
Churches (must utilize on-street parking or create shared parking)  
Convenience store  
Day care center (grandfathered single-family home only)  
Dwelling, multiple family  
Health care facility  
Home care services (grandfathered single-family homes only)  
Inns  
Mechanical repair garages  
Medical clinics  
Municipal uses  
Nursing homes  
Private clubs  
Public utility  
Public house  
Research facility  
Retail businesses (drive thru located behind the building)  
Restaurant  
Schools  
Veterinary clinics

## Building Form Standards

A. Window and Door to Facade Ratios:

- (1) Blank lengths of wall exceeding twenty (20) linear feet are prohibited on all RBL's.
- (2) Fenestration on the ground story facades shall comprise at least fifty percent (50%), but not more than ninety percent (90%) of the façade area situated between two (2) and eight (8) feet above the adjacent public sidewalk on which the façade fronts.
- (3) Fenestration on the upper story facades shall comprise at least thirty percent (30%), but no more than seventy percent (70%) of the façade area per story (measured as a percentage of the façade between floor levels).
- (4) The building façade may include jogs of no more than 18" to articulate entrances and break down the form of the building..

B. Building Projections:

- (1) Awnings, porches and stoops shall not project closer than five (5) feet to a common lot line.
- (2) No part of any building, except projecting signage, overhanging eaves, balconies, bay windows and awnings, shall encroach beyond the minimum required RBL. An eight (8) foot clearance must be maintained between the ground and the bottom of the projecting encroachment. The top of projecting signage or awnings shall not be placed higher than the second story floor plate.

C. Doors/Entries:

- (1) Functioning entry door(s) shall be provided along ground story facades at intervals not greater than fifty (50) linear feet.

D. Building Walls:

- (1) Windows and doors openings shall not span vertically more than one story.
- (2) Window openings shall correspond to interior space and shall not span across building structure such as floor structural and mechanical thickness.
- (3) Wall materials shall be consistent horizontally (ie. joints between different materials must be horizontal and continue around corners) except for chimneys and piers.
- (4) Material changes shall be made within constructional logic – as where an addition (of a different material) is built onto the original building.

E. Street Walls:

Street walls (stone, wrought iron, brick, wood or a combination of materials, etc.) establish a clear edge to the street where the buildings do not define outdoor space and separate the street from the private realm (parking lots, trash disposal bins, gardens, and equipment). Street walls shall be between 20 and 40 inches in height and are permitted along the frontage and common lot lines. All street walls shall be as carefully designed as the building façade, with the finished side out, ie. The "better" side facing the Street.

F. Windows and Doors:

- (1) Window glass shall be clear, with light transmission at the ground story at least 90% and for the upper stories 75% (modification as necessary to meet any applicable building code requirements).
- (2) Doors shall be of wood, glass, clad wood, steel or a combination thereof.
- (3) Tinted glass is not allowed. Ultra violet protection glass of the highest transparency is allowed.

G. Green Building Design Standards

- (1) Best management practices for energy efficiency and low impact development are encouraged. Utilize LEED design standards as established by The US Green Building Council or similar organizations.

## Streetscape Standards

### A. Sidewalks and Curbs:

- (1) Asphalt, brick, brick pavers and / or concrete (pervious / porous materials encouraged. Fly ash concrete encouraged)
- (2) Asphalt or granite (curbing is not required where there is no on-street parking or where low impact development stormwater standards are implemented). A two (2) foot clear zone shall be maintained between the curb and / or street shoulder and any streetscape amenities.

### B. Lighting:

- (1) LEDs encouraged
- (2) Full cut-off fixtures required
- (3) Pedestrian-scaled lighting 30' o.c. or street-scaled lighting 90' o.c. staggered along both sides of the street

### C. Street Trees:

Salt and urban tolerant. 3" min. caliper. 30' o.c. Plant in esplanade as part of LID rain gardens or plant in 6' x 6' x 6" granite planting strips or in 6' x 6' decorative tree grates (Tree Boxes for managing stormwater - street, roof drains - encouraged). Tree trunk shall be a minimum of two (2) feet from curb line or edge of shoulder

### D. Other Streetscape Amenities (shall be coordinated in style, color and materials):

- (1) Benches
- (2) Bike racks
- (3) Trash receptacles
- (4) Lights

### E. Parking:

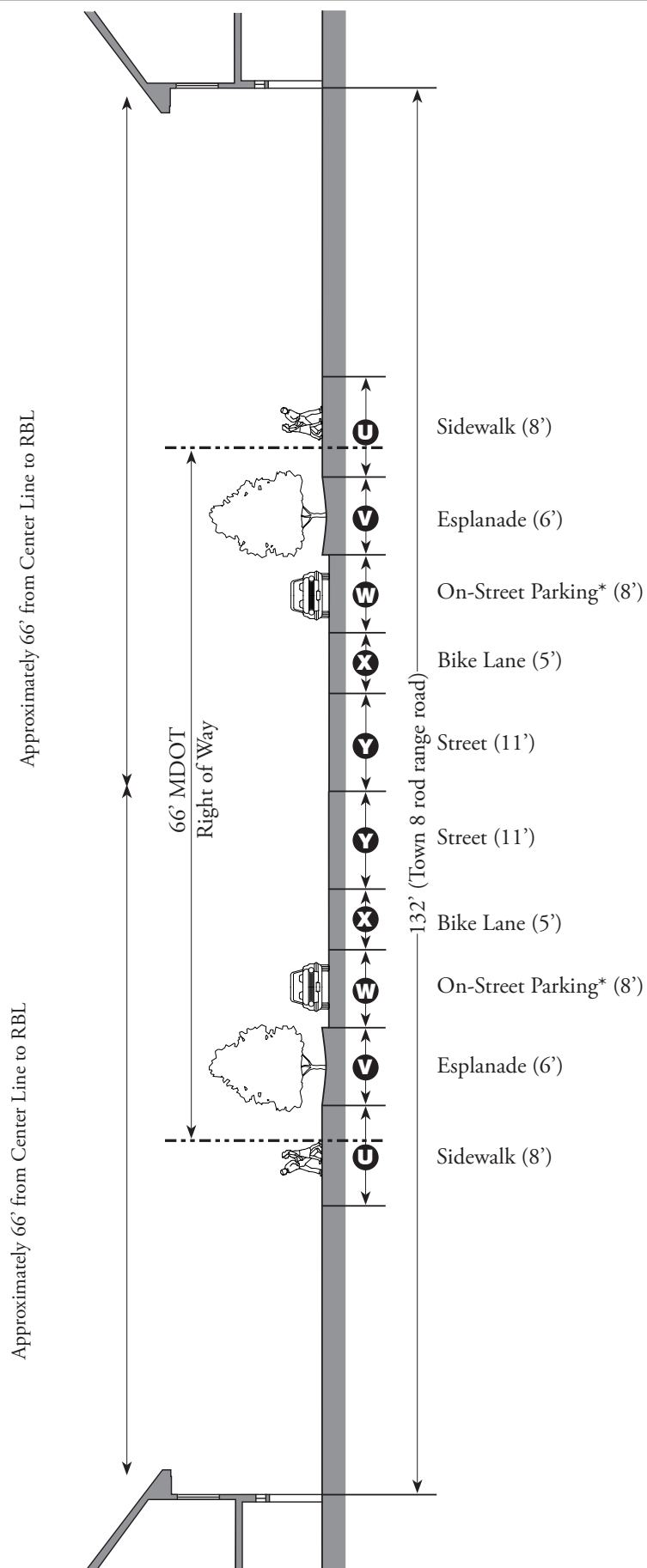
- (1) Off-street
- (2) On-street
- (3) Remote within 1,300 feet
- (4) Shared
- (5) 50% of parking may utilize compact space dimensions

### F. Signage:

- (1) Building mounted in signable area: Maximum 32 square feet
- (2) Post mounted: Maximum 32 square feet. Bottom of sign no lower than four (4) feet and top of sign no higher than eight (8) feet
- (3) Building mounted by entrances serving second floor. Maximum four (4) square feet, including all tenants
- (4) Projecting: Minimum eight foot (8) clearance. Maximum six (6) square feet
- (5) Sandwich boards: Four (4) square feet maximum
- (6) No signs permitted above second story floor plate, including signs in windows
- (7) Sandwich boards permitted during hours of operation. May not impede pedestrian movement
- (8) Externally lit signs only
- (9) Cut-off light fixtures required
- (10) LEDs encouraged
- (11) Wood, composite, or metal materials only. Plastic signs not permitted
- (12) Neon signs not permitted

### G. Low Impact Development Standards

Utilize as feasible as defined in Section 181.7.1.2



\*Where on-street parking is located easements for sidewalks are required.



Town Main Street Frontage Type Concept Perspective



Town Main Street Frontage Type Concept Street Elevation



Town Main Street Frontage Type Concept Sidewalk View



Town Main Street Frontage Type Concept Street View

## Town Avenue (TA) Standards



### Key

- Property Line
- Setback Line
- Build-to Line (RBL)
- Building Area

### Building Placement

#### Build-to-Line (Distance from Property Line)

Front	15'	<b>A</b>
Side Street, corner lot	10'	<b>B</b>

#### Setback

Side	10' min.	<b>C</b>
Rear	10' min.	<b>D</b>

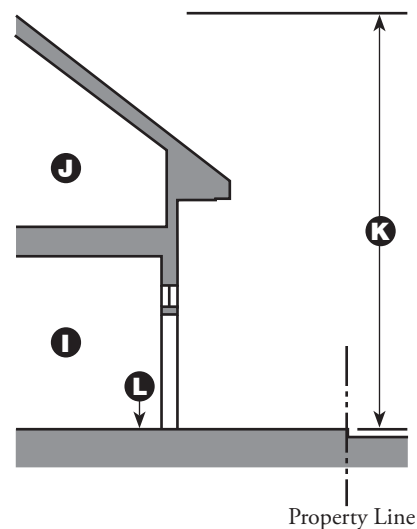
#### Building Form (relationship between building width and lot width)

Primary Street built to RBL	50% min. 80% max.	<b>E</b>
Side Street, Corner Lot RBL	30% min.	<b>F</b>

### Notes

All floors must have a primary ground-floor entrance which faces the street.

Rear facing buildings, loading docks, overhead doors, and other service entries are prohibited on street-facing facades.

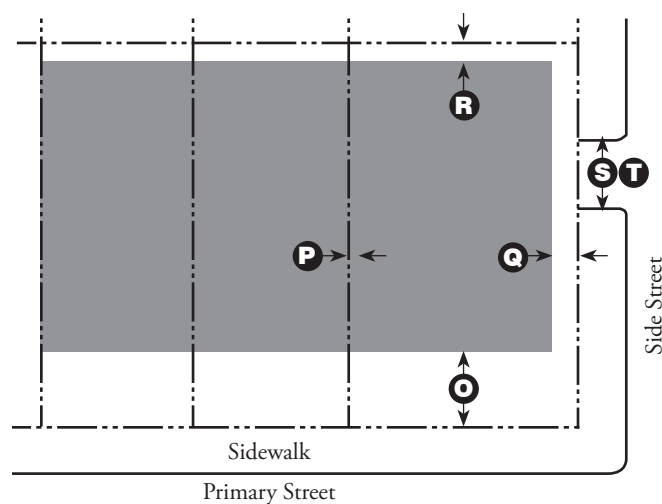


### Use

Ground Floor	Service, Retail, or Recreation, Education & Public Assembly	<b>I</b>
Upper Floor(s)	Residential, Service or Retail	<b>J</b>

### Height

Building Minimum	16'	<b>K</b>
Building Maximum	2.5 Stories	<b>K</b>
Ancillary Building Maximum	1.5 Stories	
Finish Ground Floor Level	12" max above sidewalk	<b>L</b>

**Key**

- Property Line  
 ■ Parking Area

**Parking****Location (Distance from Property Line)\***

Front Setback	20' min.	<b>O</b>
Side Setback	0' min.	<b>P</b>
Side Street Setback	5' min.	<b>Q</b>
Rear Setback	5' min.	<b>R</b>

**Required Spaces****Ground Floor**

Uses < 3,000 sf (1 Story)	1 space/200 sf
Uses < 3,000 sf (2 Story)	No off-street parking required
Uses > 3,000 sf	1 space/400 sf

**Upper Floor(s)**

Residential uses	1 space/unit; .5 space/studio
Other uses	1 space/600 sf

Parking Drive Width	16' max.	<b>S</b>
---------------------	----------	----------

Or as required by Standish Fire Department

On corner lots, parking drive shall not be located on primary street.	<b>T</b>
---	----------

**Notes**

Shared drives are encouraged between adjacent lots to minimize curb cuts.

Parking may be provided off-site within 1,300', on-site or as shared parking.

50% of off-street parking may utilize compact dimensions

**Street Space (see page 28)****Location (Width Distances)**

Sidewalk	6' (Both Sides)	<b>U</b>
Amenity Zone	6' (Both Sides)	<b>V</b>
On-Street Parking	8' (Both Sides)	<b>W</b>
Travel Lanes	10' (Two Lanes)	<b>X</b>

**Blocks & Intersections**

Block length	250' min. 450' max (new streets)
Intersection	TA, TR (new streets)

**Conditional Review Triggers**

- Proposed buildings over 5,000 square feet
- Proposed or existing buildings not meeting min. RBL building placement
- Proposed projects not utilizing TA required parking spaces
- Proposed buildings more than fifty (50) feet wide along RBL
- Proposed lot does not meeting min. required lot size of 20,000 square feet

### **Town Avenue (TA) Allowed Land Uses and Permit Requirements**

Uses not listed are not permitted. Legally non-conforming uses as of the date of this Ordinance or as revised are subject to standards of Article 5: Nonconforming Uses. When Site Plan review is triggered, the use and / or structure shall comply with applicable Street Frontage Type standards to the greatest extent practicable.

Planning Board Review is required for new construction, expansion, reconstruction and subdivision, but CEO approval is only required for subsequent uses in existing structures that:

1. Do not increase anticipated traffic volumes by 10%
2. Do not change vehicular traffic patterns
3. Do not increase parking requirements by more than 10%
4. Do not change the exterior visual appearance of structures and continue to meet the applicable Street Frontage Type standards.
5. That are eligible for a permit by CEO per Street Frontage Type

Permitted uses, not requiring site plan review, shall be as follows. Such uses shall require approval from the Code Enforcement Officer only:

Accessory uses and buildings

Dwelling, one unit

Dwelling, two units

Dwelling, studio

Family Apartment (only with grandfathered single-family homes)

Home occupation level 1

Home occupation Level 2

Home occupation level 3

Home retail sales

Outdoor display and sales

Yard or garage sale

Permitted uses requiring site plan or subdivision review shall be as follows. Such uses shall require Planning Board approval, in accordance with Section 181.7.1, Part 2 or Part 3 of this chapter:

Art center – indoor

Art gallery/museum

Business profession office

Cafe

Churches (must utilize on-street parking or create shared parking)

Convenience store

Dwelling, multiple

Elderly housing

Hospital (new Town Avenue Street Frontage Type only)

Inns

Medical clinics

Municipal uses

Public house

Public utility

Research facility

Restaurant (includes outdoor dining)

Retail businesses

Village Housing

## Building Form Standards

### A. Window and Door to Facade Ratios:

- (1) Blank lengths of wall exceeding twenty (20) linear feet are prohibited on all RBL's.
- (2) Fenestration on the ground story facades shall comprise at least fifty percent (50%), but not more than ninety percent (90%) of the façade area situated between two (2) and eight (8) feet above the adjacent public sidewalk which the façade fronts.
- (3) Fenestration on the upper story facades shall comprise at least thirty percent (30%), but no more than seventy percent (70%) of the façade area per story (measured as a percentage of the façade between floor levels).
- (4) The building façade may include jogs of no more than 18" to articulate entrances and break down the form of the building..

### B. Building Projections:

- (1) Awnings, porches and stoops shall not project closer than five (5) feet to a common lot line.
- (2) No part of any building, except projecting signage, overhanging eaves, balconies, bay windows and awnings, shall encroach beyond the minimum required RBL. An eight (8) foot clearance must be maintained between the ground and the bottom of the projecting encroachment. The top of projecting signage or awnings shall not be placed higher than the second story floor plate.

### C. Doors/Entries:

- (1) Functioning entry door(s) shall be provided along ground story facades at intervals not greater than fifty (50) linear feet.

### D. Building Walls:

- (1) Windows and doors openings shall not span vertically more than one story.
- (2) Window openings shall correspond to interior space and shall not span across building structure such as floor structural and mechanical thickness.
- (3) Wall materials shall be consistent horizontally (ie. joints between different materials must be horizontal and continue around corners) except for chimneys and piers.
- (4) Material changes shall be made within constructional logic – as where an addition (of a different material) is built onto the original building.

### E. Street Walls:

Street walls (stone, wrought iron, brick, wood or a combination of materials, etc.) establish a clear edge to the street where the buildings do not define outdoor space and separate the street from the private realm (parking lots, trash disposal bins, gardens, and equipment). Street walls shall be between 20 and 40 inches in height and are permitted along the Frontage and Common Lot Lines. All street walls shall be as carefully designed as the building façade, with the finished side out, ie. The "better" side facing the Street.

### F. Windows and Doors:

- (1) Window glass shall be clear, with light transmission at the ground story at least 90% and for the upper stories 75% (modification as necessary to meet any applicable building code requirements).
- (3) Tinted glass is not allowed. Ultra violet protection glass of the highest transparency is allowed.

### G. Green Building Design Standards

- (1) Best management practices for energy efficiency and low impact development are encouraged. Utilize LEED design standards as established by The US Green Building Council or similar organizations.

## Streetscape Standards

A. Sidewalks and Curbs:

- (1) Brick, brick pavers and / or concrete (pervious / porous materials encouraged. Fly ash concrete encouraged)
- (2) Vertical granite curbing. A two (2) foot clear zone shall be maintained between the curb and / or street shoulder and any streetscape amenities.

B. Lighting:

- (1) LEDs encouraged
- (2) Full cut-off fixtures required
- (3) Pedestrian-scaled lighting 30' o.c. or street-scaled lighting max. 90' o.c. staggered along both sides of the street

C. Street Trees:

Salt and urban tolerant. 3 inch minimum caliper. 30' o.c. Plant in 6' x 6' x 6" granite planting strips or in 6' x 6' decorative tree grates (Tree Boxes for managing stormwater - street, roof drains - encouraged). Tree trunk shall be a minimum of two (2) feet from curb line or edge of shoulder

D. Other Streetscape Amenities (shall be coordinated in style, color and materials):

- (1) Benches
- (2) Bike racks
- (3) Trash receptacles
- (4) Lighting

E. Parking:

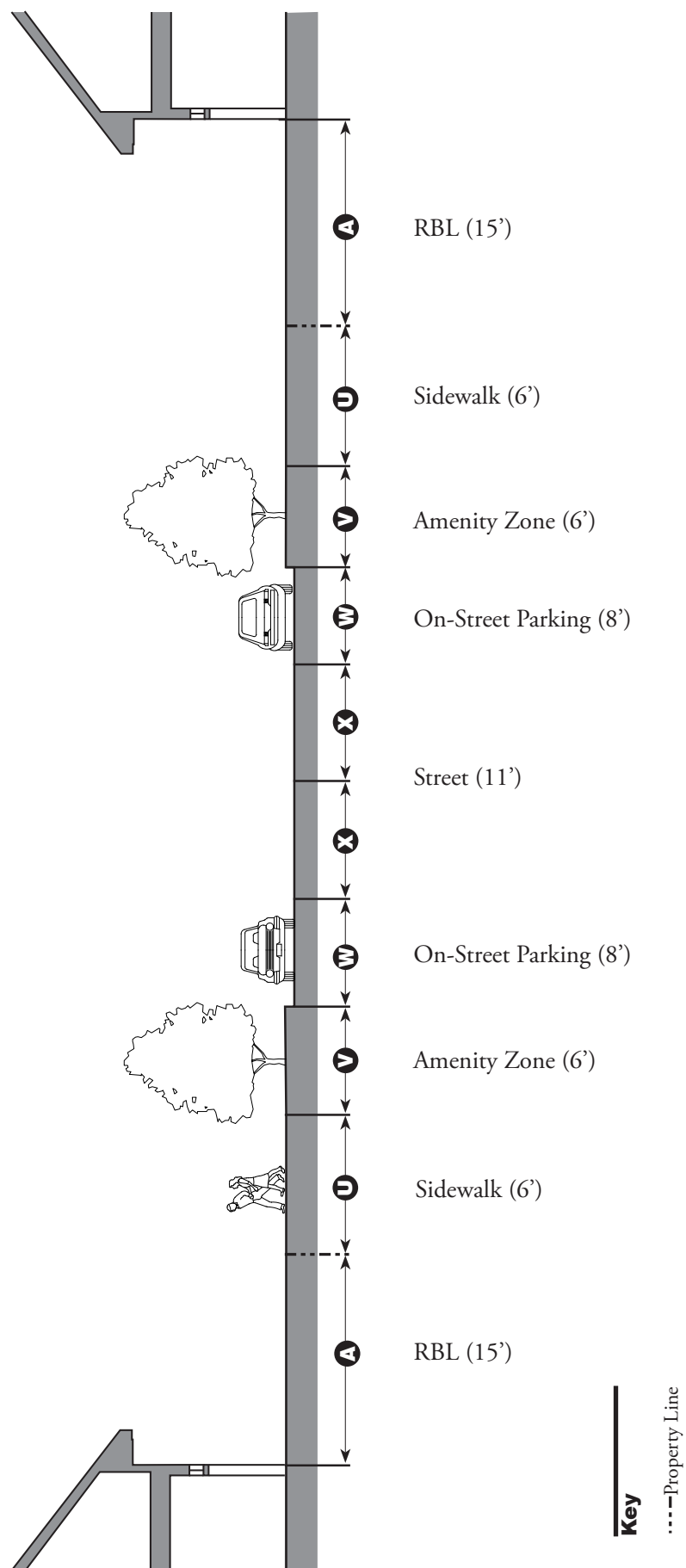
- (1) Off-street
- (2) Remote within 1,000 feet
- (3) Shared
- (4) 50% of parking may utilize compact space dimensions

F. Signage:

- (1) Building mounted in signable area: Maximum thirty two (32) square feet
- (2) Building mounted by entrances serving second floor: Maximum four (4) square feet, including all tenants
- (3) Projecting: Minimum eight (8) foot clearance. Maximum six (6) square feet
- (4) Sandwich board: Four (4) square feet maximum
- (5) No signs permitted above second story floor plate, including signs in windows
- (6) Sandwich boards permitted during hours of operation only. Shall not impede pedestrian movement
- (7) Externally lit signs only
- (8) Cut-off light fixtures required
- (9) LEDs encouraged
- (10) Wood, composite, or metal materials only. Plastic signs not permitted
- (11) Neon signs not permitted

G. Low Impact Development Standards:

Utilize as feasible as defined in Section 181.7.1.2



\*Where on-street parking is located on an existing arterial a 5' bike lane is required between travel lanes and on-street parking.



Town Avenue Street Frontage Type Concept Perspective



Town Avenue Street Frontage Type Concept Street Elevation



Town Avenue Street Frontage Type Concept Sidewalk View



Town Avenue Street Frontage Type Concept Street View

## Town Gateway (TG) Standards



### Key

- Property Line  
 - - - Setback Line  
 ■ Building Area

### Building Placement

#### Setback

Front	50' min.	<b>A</b>
Side Street, corner lot	15'.	<b>B</b>
Side	15' min.	<b>C</b>
Rear	10' min.	<b>D</b>

### Lot Dimension & Curb Cuts

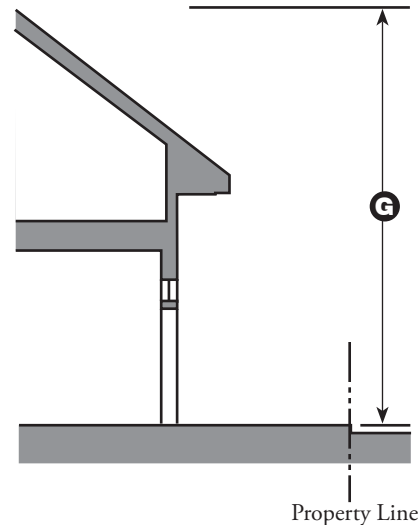
Lot Width	200' min.
Curb Cut*	1 per 200'

\*On corner lots, curb cuts shall not be located on primary street. Shared drives are encouraged between adjacent lots to minimize curb cuts.

### Notes

All floors must have a primary ground-floor entrance which faces the street. Buildings on corner lots must have articulated entrances along Primary and Side Streets

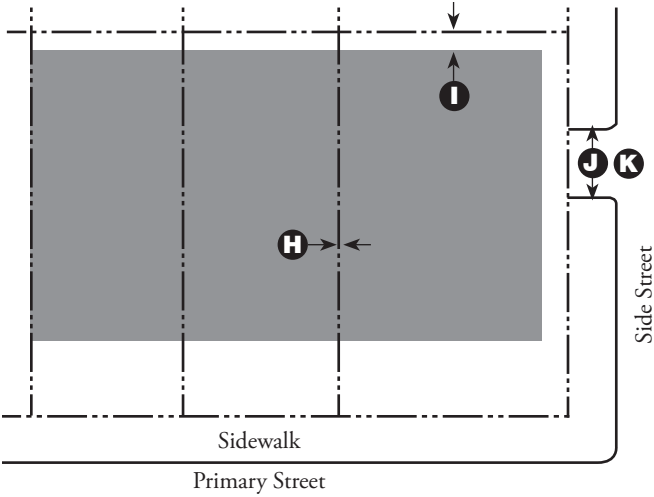
Rear facing buildings, loading docks, overhead doors, and other service entries are prohibited on the Primary street-facing facades.



### Height

Building Minimum	16'	<b>G</b>
Building Maximum	2.5 Stories	<b>G</b>
Ancillary Building Maximum	1.5 Stories	

\* All heights measured to eaves or top of parapet.



**Key**

- Property Line
- Parking Area

**Parking**

Location (Distance from Property Line)*		
Side Setback	0'	H
Rear Setback	15'	I

\*A 15' setback is required when adjacent to an existing residential use. A 0' setback is allowed between shared parking.

**Required Spaces**

See Existing Village Center Standards

**Notes**

- Parking Drive Width 24' max J
- Or as required by Standish Fire Department
- On corner lots, parking drive shall not be located on primary street. K
- Shared parking is encouraged with connections between lots.

**Street Space (see page 36)**

Location (Width Distances)		
Sidewalk	6' (One Side)	L
Esplanade	14' (One Side)	M
Paved Shoulder	5' (Both Sides)	N
Travel Lanes	11' (Existing)	O

**Intersections**

Intersection	TA, TR (new streets)
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**Table 2.2: Town Gateway (TG) Zone Allowed Land Uses and Permit Requirements**

Uses not listed are not permitted. Non-conforming uses as of the date of this Ordinance or as revised are subject to standards of Article 5: Non-conforming Uses. When Site Plan review is triggered, the use and / or structure shall comply with applicable Street Frontage Type standards to the greatest extent practicable.

Planning Board Review is required for new construction, expansion, reconstruction and subdivision, but CEO approval is only required for subsequent uses in existing structures that:

1. Do not increase anticipated traffic volumes by more than 10%
2. Do not change vehicular traffic patterns
3. Do not increase parking requirements by more than 10%
4. Do not change the exterior visual appearance of structures and continue to meet the applicable Street Frontage Type standards.
5. That are eligible for a permit by CEO per Street Frontage Type

Permitted uses, not requiring site plan review, shall be as follows. Such uses shall require approval from the Code Enforcement Officer only:

Accessory apartment  
 Accessory uses and buildings  
 Agriculture  
 Dwelling, one unit  
 Dwelling, two Units  
 Dwelling, studio  
 Family apartment  
 Home occupation level 1  
 Home occupation Level 2  
 Home occupation level 3  
 Home retail sales  
 Outdoor display and sales  
 Single family home (not including mobile homes)  
 Tradesman  
 Yard or garage sale

Permitted uses requiring site plan or subdivision review shall be as follows. Such uses shall require Planning Board approval, in accordance with Section 181.7.1, Part 2 and Part 3 of this chapter:

Adult day care	Research facility
Auto sales	Retail businesses (drive thru located behind the building and max. 2,000 sf per use)
Business profession office (max. 2,000 sf per use)	Restaurant, drive thru (located behind the building)
Churches (must utilize on-street or create shared parking)	Social events center
Cluster development	Storage facilities
Convenience store (with fueling pumps to side only)	Veterinary clinics
Collision repair garage	Village housing
Day care center	Warehouse
Day care home	
Dwelling, multiple (may be located on first story and above)	
Elderly housing	
Fueling station	
Greenhouses	
Health care facility	
Heavy-duty repair garage	
Home care services	
Mechanical repair garage	
Motel	
Municipal uses	
Nursing homes	
Outdoor recreation	
Private clubs	
Public utility	

**Building Form Standards (In progress - does not apply to a number of uses such as single-family homes, warehouses etc....)**

A. Window and Door to Facade Ratios:

- (1) Blank lengths of wall exceeding twenty (20) linear feet are prohibited on all RBLs.
- (2) Fenestration on the ground story facades shall comprise at least fifty percent (50%), but not more than ninety percent (90%) of the façade area situated between two (2) and eight (8) feet above the adjacent public sidewalk on which the façade fronts.
- (3) Fenestration on the upper story facades shall comprise at least thirty percent (30%), but not more than seventy percent (70%) of the façade area per story (measured as a percentage of the façade between floor levels).
- (4) The building façade may include jogs of no more than 18" to articulate entrances and break down the form of the building..

B. Building Projections:

- (1) Awnings, porches and stoops shall not project closer than five (5) feet to a common lot line.
- (2) No part of any building, except projecting signage, overhanging eaves, balconies, bay windows and awnings, shall encroach beyond the minimum required RBL. An eight (8) foot clearance must be maintained between the ground and the bottom of the projecting encroachment. The top of projecting signage or awnings shall not be placed higher than the second story floor plate.

C. Doors/Entries:

- (1) Functioning entry door(s) shall be provided along ground story facades at intervals not greater than fifty (50) linear feet.

D. Building Walls:

- (1) Windows and doors openings shall not span vertically more than one story.
- (2) Window openings shall correspond to interior space and shall not span across building structure such as floor structural and mechanical thickness.
- (3) Wall materials shall be consistent horizontally (ie. joints between different materials must be horizontal and continue around corners) except for chimneys and piers.
- (4) Material changes shall be made within constructional logic – as where an addition (of a different material) is built onto the original building.

E. Windows and Doors:

- (1) Window glass shall be clear, with light transmission at the ground story at least 90% and for the upper stories 75% (modification as necessary to meet any applicable building code requirements).
- (2) Doors shall be of wood, glass, clad wood, steel or a combination thereof.
- (3) Tinted glass is not allowed. Ultra violet protection glass of the highest transparency is allowed.

F. Green Building Design Standards

- (1) Best management practices for energy efficiency and low impact development are encouraged. Utilize LEED design standards as established by The US Green Building Council or similar organizations.

## Streetscape Standards

These standards are applicable when varying from existing standards for Site Plan Review

A. Sidewalks and Curbs:

- (1) Asphalt sidewalk along Route 25 and Route 35 - separated from road by esplanade
- (2) Curbing not required

B. Site Lighting:

- (1) LEDs encouraged
- (2) Full cut-off fixtures required

C. Buffering:

- (1) All existing trees three (3) inch caliper and larger shall be preserved in setbacks. In the front setback deciduous trees may be limbed to eight (8) feet.
- (2) Undergrowth may be removed and replaced with shade tolerant understory plants in natural groupings of six (6) every 30'.
- (3) If existing buffering does not exist, a landscape buffer natural in appearance shall be installed every 100' including:
  - a. Two (2) inch caliper trees in two groups of three
  - b. Eight (8) foot tall evergreens shall be planted in two groups of three
  - c. Two (2) foot tall shrubs in six groups of three
- (4) All landscaping shall be maintained and replaced if necessary to maintain the required buffering.

D. Other Site Amenities (shall be coordinated in style, color and materials):

- (1) Benches
- (2) Bike racks
- (3) Trash receptacles
- (4) Lighting

E. Parking:

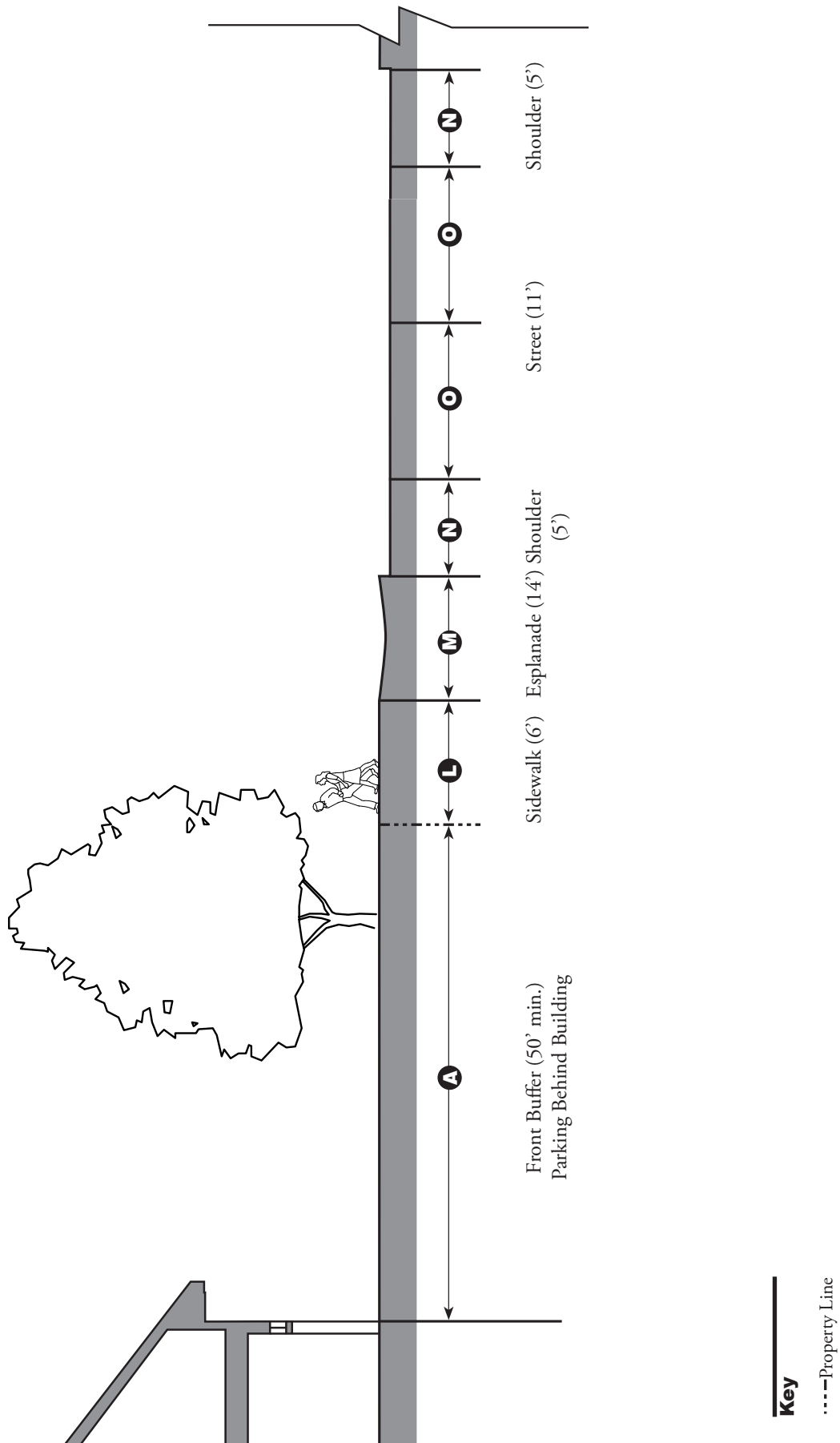
- (1) Off-street
- (2) Shared

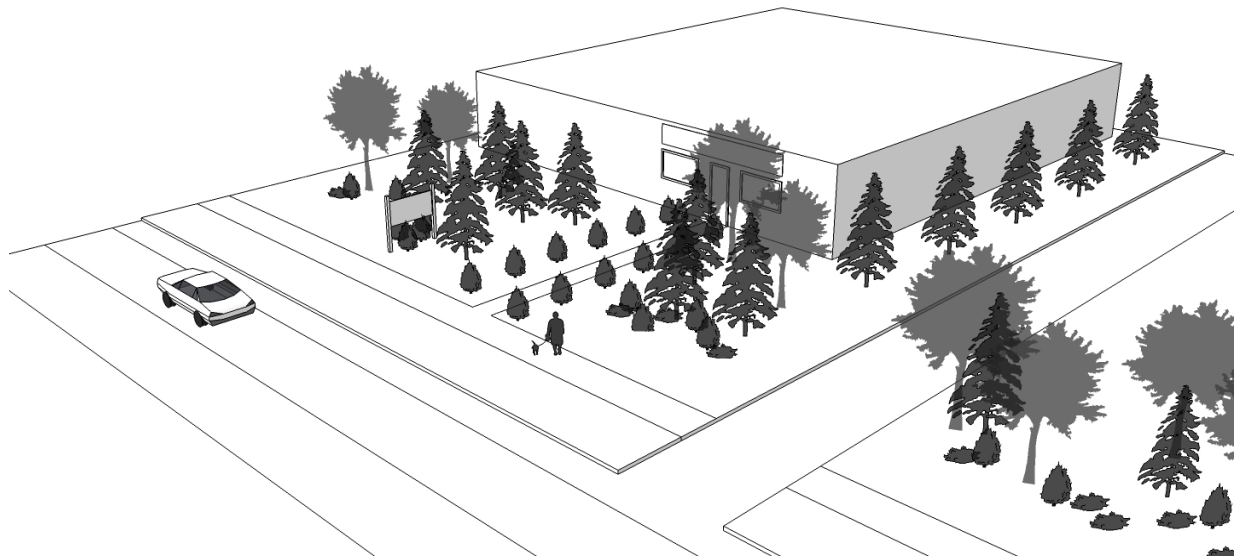
F. Signage:

- (1) Building mounted in signable area. Max. 100 square feet
- (2) Post mounted: Maximum thirty two (32) square feet. Bottom of sign no lower than four (4) feet and no higher than eight (8) feet
- (3) Building mounted by entrances serving second floor: Maximum four (4) square feet, including all tenants
- (4) Projecting: Minimum eight (8) foot clearance
- (5) No signs permitted above second story floor plate, including signs in windows
- (6) Externally lit signs only. Cut-off light fixtures required
- (7) LEDs encouraged
- (8) Wood, composite, or metal materials only. Plastic signs not permitted
- (9) Neon signs not permitted

G. Low Impact Development Standards

Utilize as feasible as defined in Section 181.7.1.2





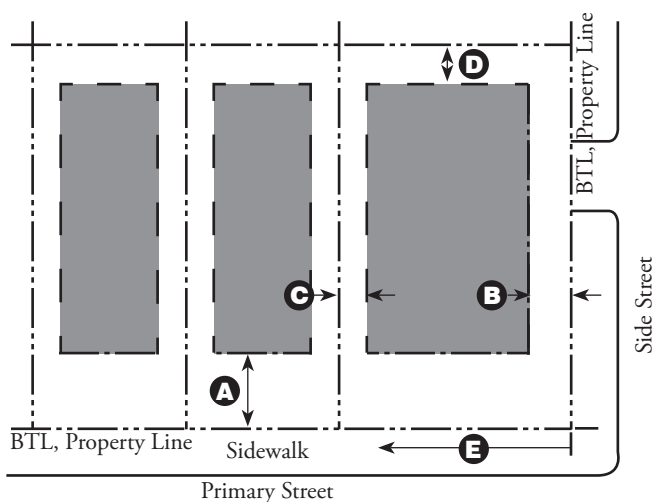


Town Gateway Street Frontage Type Concept Sidewalk View



Town Gateway Street Frontage Type Concept Street View

## Town Residential (TR) Standards



### Key

- Property Line
- Setback Line
- Built-to Line (BTL)
- Building Area

### Building Placement

#### Setbacks

Front*	15' min. 25' max.	<b>A</b>
Side Street, corner lot	15' min.	<b>B</b>
Side	15' min.	<b>C</b>
Rear	10' min.	<b>D</b>

\* Porches may be placed within front setback.

#### Building Form

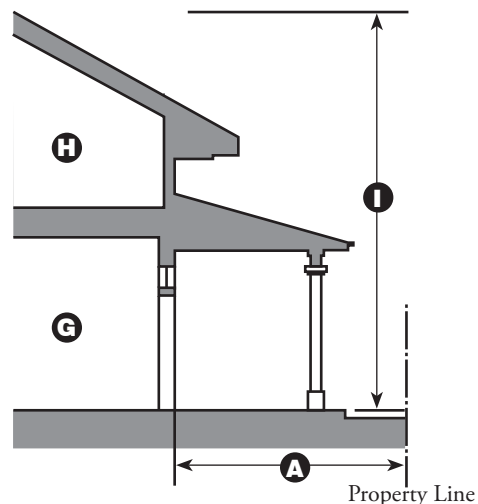
Lot Width	125' max.	<b>E</b>
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There are no minimum or maximum lot widths for Village Housing or Elderly Housing, but the pattern of development shall meet the Building Placement, Parking, Street and Blocks and Intersection Standards for the Town Residential Street Frontage Type.

### Notes

Primary entrances must face Primary Street.

Attached or detached garages shall be no less than five (5) feet setback from front plane of the house.



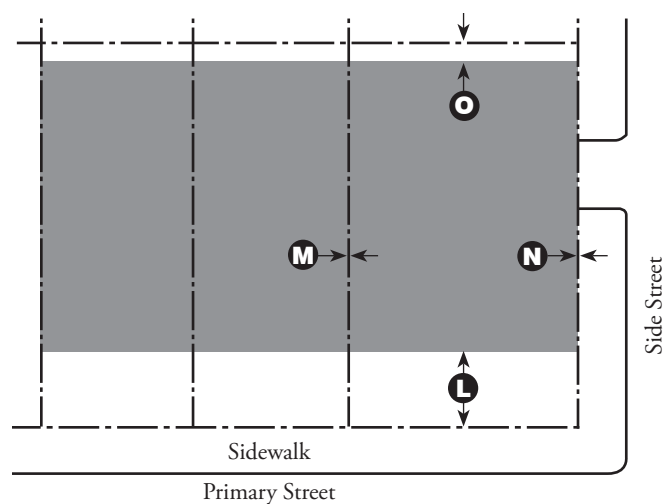
### Use

Ground Floor	Residential or Low Impact Services	<b>G</b>
Upper Floor(s)	Residential or Service	<b>H</b>

### Height

Building Minimum	20' (typical Cape Cod ridge)	
Building Maximum	2.5 Stories	<b>I</b>
Ancillary Building Maximum	2 Stories	

\* All heights measured to ridge.

**Key**

---Property Line

■ Parking Area

**Parking (excluding Driveways)****Location (Distance from Property Line)**

Front Setback	40' min.	<b>L</b>
Side Setback	15' min.	<b>M</b>
Side Street Setback	25' min.	<b>N</b>
Rear Setback	15' min.	<b>O</b>

**Required Spaces**

Residential uses	1 space/unit; .5 space/studio
Non-Residential uses*	.5 spaces per employee not residing at location

\*No off-street parking required.

**Notes**

Parking Drive Width 12' max.

Or as required by Fire Department

Parking drive shall be located on primary street.

Side street setback parking shall be set back 10' from plane of the building.

**Street Space (see page 43)****Location (Width Distances)**

Sidewalk	6' (Both Sides)	<b>P</b>
Esplanade	6' (One Side)	<b>Q</b>
Rain Garden	6' (One Side)	<b>R</b>
On-Street Parking	Allowed on one side	
Roadway	22'	

**Blocks & Intersections**

Block length	375' min. 1000' max.
Intersection*	TR, TA (new streets)

\*New streets off existing Town Residential streets can only be Town Residential streets.

**Conditional Review Triggers**

Proposed lots not meeting min. required lot size of 20,000 SF

## **Town Residential (TR) Allowed Land Uses and Permit Requirements**

Uses not listed are not permitted. Non-conforming uses as of the date of this Ordinance or as revised are subject to standards of Article 5: Nonconforming Uses. When Site Plan review is triggered, the use and / or structure shall comply with applicable Street Frontage Type standards to the greatest extent practicable.

Planning Board Review is required for new construction, expansion, reconstruction and subdivision, but CEO approval is only required for subsequent uses in existing structures that:

1. Do not increase anticipated traffic volumes by 10%
2. Do not change vehicular traffic patterns
3. Do not increase parking requirements by more than 10%
4. Do not change the exterior visual appearance and continue to meet the applicable Street Frontage Type standards
5. That are eligible for a permit by CEO per Street Frontage Type

Permitted uses, not requiring site plan review, shall be as follows. Such uses shall require approval from the Code Enforcement Officer only:

Accessory apartment  
Accessory uses and buildings  
Dwelling, one unit  
Dwelling, two units  
Dwelling, studio  
Family apartment  
Home occupation level 1  
Home occupation Level 2  
Home occupation level 3  
Home retail sales  
Single family home (not including mobile homes)  
Tradesman  
Yard or garage sale

Permitted uses requiring site plan or subdivision review shall be as follows. Such uses shall require Planning Board approval, in accordance with Section 181.7.1, Part 2 or Part 3 of this chapter:

Daycare home  
Cluster development  
Community living facility (4 or fewer persons)  
Bed & breakfast (4 guest room limit)  
Convenience store (limited to 1000 square feet and shall be located at an intersection)  
Church (on-street parking only except for accessible spaces and loading and shall be located at an intersection)  
Dwelling, multiple family(may be located on first story and above)  
Elderly housing  
Public utility  
School  
Town services  
Village housing

## Streetscape, Building and Buffering Standards

A. Sidewalks and Curbs:

- (1) Asphalt, brick, brick paver or concrete sidewalks (pervious / porous material encouraged. Fly ash concrete encouraged)
- (2) Asphalt or sloped granite as designed for low impact development or for defining on-street parking. Granite curbing at intersection radii required

B. Lighting:

- (1) LEDs encouraged
- (2) Full cut-off fixtures required
- (3) Street-scaled lighting required at intersections
- (4) Pedestrian (optional) 30 - 50' o.c.

C. Street Trees:

Salt and urban tolerant. Three (3) inch minimum caliper. 30' - 50' o.c. Plant in esplanade. Three (3) feet clear of curb line or edge of shoulder.

D. Buffering:

- (1) On-site parking for non-residential uses shall be buffered with plantings and fencing to minimize visual impacts and glare from headlights.
- (2) Waste storage for convenience stores must be completely screened from view. Waste storage for all other uses shall not be visible from the street and buffered from abutters.

E. Other Streetscape Amenities in public parks, streetscape or greens (shall be coordinated in style, color and materials):

- (1) Benches
- (2) Lighting
- (3) Bike racks
- (4) Trash receptacles
- (5) Lighting

F. Parking

- (1) Off-street
- (2) On-street
- (3) Shared
- (4) Remote within 1,300 feet
- (5) Stacked and compact parking allowed off-street

G. Signage (Property cannot have both post-mounted and projecting signage):

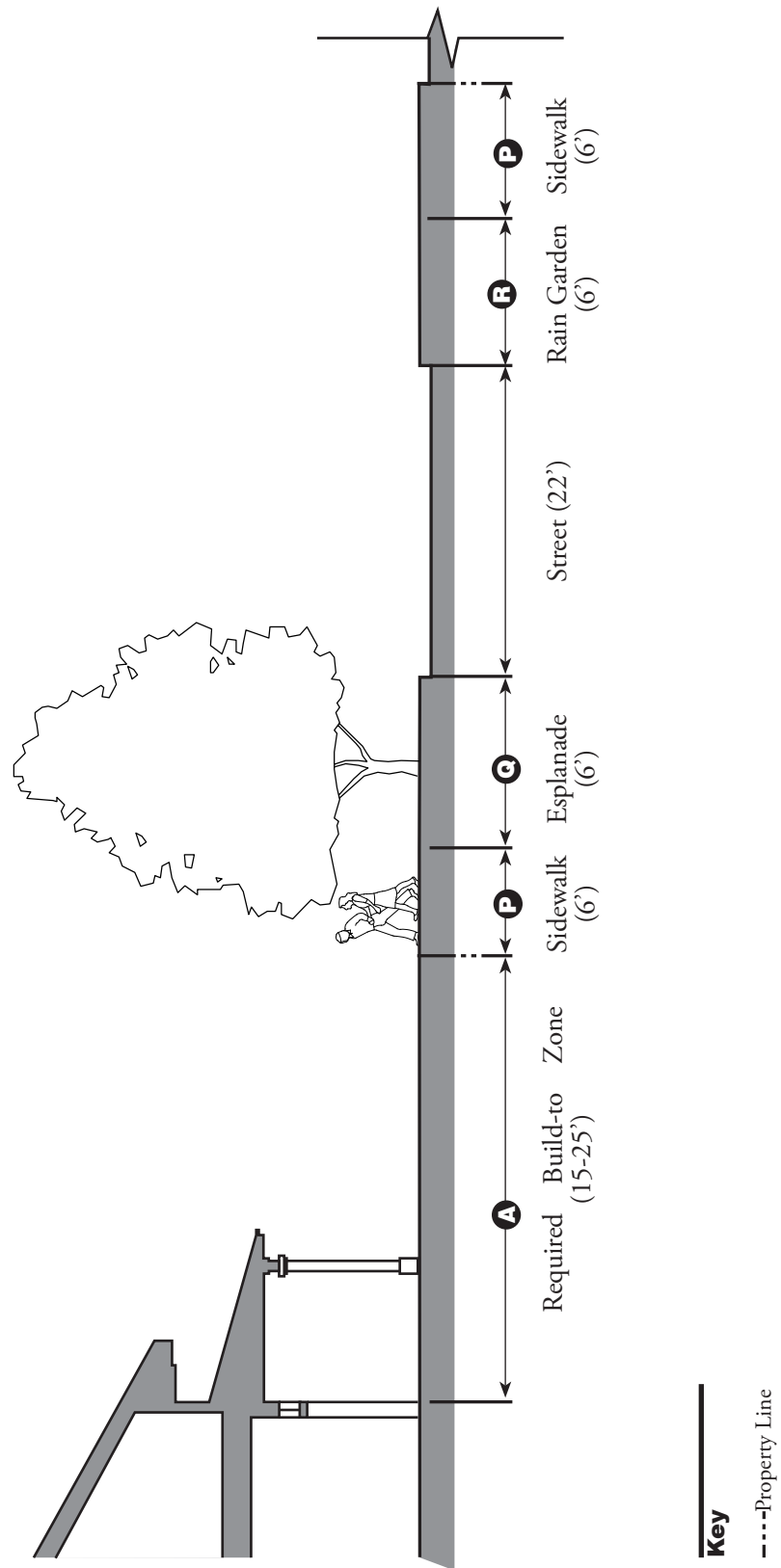
- (1) Single post mounted: Maximum six (6) square feet. Bottom of sign no lower than six (6) feet and top no higher than eight (8) feet.
- (2) Building mounted by entrances serving second floor: Maximum four (4) square feet, including all tenants
- (3) Projecting: Maximum six (6) square feet
- (4) No signs permitted above second story floor plate, including signs in windows
- (5) No lit signs allowed
- (6) Wood, composite, or metal materials only. Plastic signs not permitted

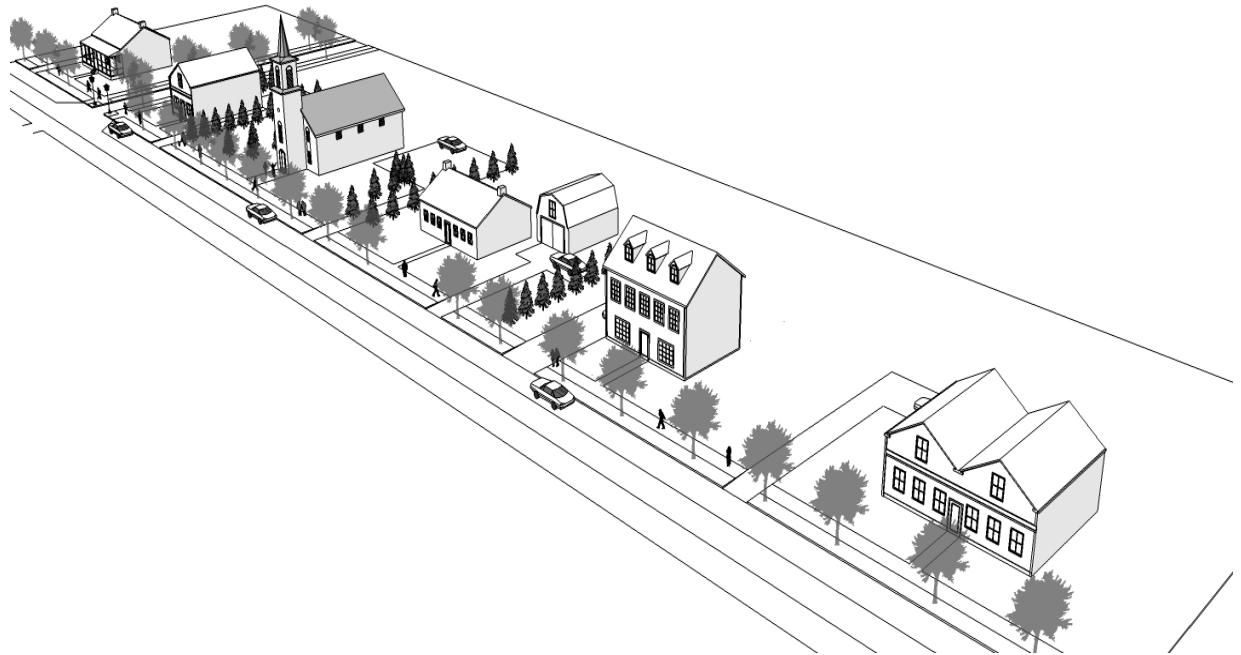
H. Low Impact Development Standards:

Utilize as feasible as defined in Section 181.7.1.2

I. Green Building Design Standards:

Best management practices for energy efficiency and low impact development are encouraged. Utilize LEED design standards as established by The US Green Building Council or similar organizations.





Town Residential Street Frontage Type Concept Perspective



Town Residential Street Frontage Type Concept Elevation



Town Residential Street Frontage Type Concept Sidewalk View



Town Residential Street Frontage Type Concept Street View