

Proposed Amendments to Chapter 181: Land Use, Part 1 Zoning to Implement the Sebago Lake Village Master Plan

This document amends the sections of the Chapter 181 as shown below. New language is underlined; deleted language is struck through. The existing Standish Corner District (SCD) provisions have been reorganized to accommodate the new Sebago Lake Village District (SLVD) provisions. As a result, several sections appear to be deleted in one part of the document, but added as new text in another part. The Standish Corner District and the Sebago Lake Village District are grouped together under a new heading called “Form Based Code Village Districts” (FBCVD) to minimize unnecessary repetition of provisions.

§ 181-7.1. ~~Standish Corner District~~ Form Based Code Village Districts (FBCVD)

[Added 6-7-2011]

The intent of the ~~Standish Corner District~~ Form Based Code Village Districts is to strengthen and/or establish mixed-use, interconnected, village-scaled neighborhoods based on a development pattern that is fiscally responsible and environmentally sustainable. New neighborhoods and redevelopment opportunities shall be characterized by vital civic spaces with quality ~~SCD~~ FBCVD streetscapes framed by pedestrian-scaled buildings. The standards for the ~~Standish Corner District~~ Form Based Code Village Districts allow for a wide range of residential, economic development and recreational opportunities, while promoting improved vehicular and pedestrian connectivity throughout the area.

A. Definitions

Terms defined. As used in this section, the following terms shall have the meanings indicated:

AMENITY ZONE — A portion of the public right-of-way, typically adjacent to the sidewalk but outside the pedestrian walking area, including ~~SCD~~ FBCVD streetscape elements.

ART CENTER – INDOOR — A structure or complex of structures for housing the visual and/or performing arts. Includes the retail sale of art.

ART GALLERY/MUSEUM — A public place consisting of a building containing objects such as, but not limited to, paintings, prints, sculptures, scientific and historical objects, which are either for sale to the general public or are displayed for viewing only. Outdoor display, excluding retail sales, is permitted only as an accessory use during business hours and may not impede pedestrian traffic.

BLOCK LENGTH — The distance between new ~~SCD~~ FBCVD street intersections. The applicable ~~SCD~~ FBCVD street frontage type determines block length.

BUILDABLE AREA — The area of the lot that building(s) may occupy. The buildable area sets the limits of the building footprint now and in the future; additions to structures must be within the designated area.

BUILDING DEVELOPMENT STANDARDS — The part of the section that establishes basic parameters regulating building form, including the envelope, placement (in three dimensions) and certain permitted/required building elements, such as storefronts, ~~SCD~~ street walls, building height, and window proportionality. Building development standards are determined by the applicable ~~SCD~~ FBCVD street frontage type standards. This produces a coherent ~~SCD~~ FBCVD streetscape and context.

BUILDING FORM — The form of a building, based on its massing, private frontage, and height.

BUILDING PLACEMENT — The placement of a building on its lot.

CLEARLY VISIBLE FROM THE ~~SCD~~ FBCVD STREET — Visible from the ~~Standish Corner~~ Form Based Code Village District street, which includes squares, civic greens, parks, and all public space except alleys. A building element more than 30 feet from the RBL/ ~~SCD~~ FBCVD street (such as items facing a common lot line more than 31 feet away from a RBL and/or ~~SCD~~ FBCVD street) is by definition not clearly visible from the ~~SCD~~ FBCVD street. Also common and/or party walls are by definition not clearly visible from the ~~SCD~~ FBCVD street.

COMMON LOT LINE — Lot lines shared by adjacent private lots.

CONNECTIVITY MASTER PLAN — A plan that demonstrates the key elements of the ~~Standish Corner~~ Form Based Code Village District, including connectivity within the development and to adjacent parcels, block lengths and other standards as prescribed by applicable ~~SCD~~ FBCVD street frontage types (such as Town Center or Town Residential). A plan must show how the project will conceptually relate to the context, allowing for a proactive planning process. A conceptual Connectivity Master Plan must be approved by the Planning Board in order for an applicant to obtain subdivision or site plan approval for a project

located in ~~the Standish Corner District~~ a Form Based Code Village District.

CONTEXT — Surroundings, including a combination of architectural, natural and civic elements that define district, neighborhood, ~~SCD~~ FBCVD street or specific block character.

● ● ●

DWELLING, MULTIFAMILY, ~~STANDISH CORNER~~ FORM BASED CODE VILLAGE DISTRICT — A building designed or used as the living quarters for more than one family. This term excludes motels, rooming houses, mobile homes and dwelling units with family apartments or accessory apartments.

DWELLING, STUDIO, ~~STANDISH CORNER~~ FORM BASED CODE VILLAGE DISTRICT — A room or group of rooms between 300 and 500 square feet in floor area designed and equipped for use as living quarters, including provisions for living, sleeping, eating and cooking located on the second story or above in a structure.

DWELLING UNIT, ~~STANDISH CORNER~~ FORM BASED CODE VILLAGE DISTRICT — A room or group of rooms, 500 square feet or greater in floor area, designed and equipped for use as living quarters, including provisions for living, sleeping, eating and cooking located on the second story or above in a structure.

ESPLANADE — That portion of a ~~SCD~~ FBCVD street right-of-way that is located between the curbline and the edge of the sidewalk closest to the ~~SCD~~ FBCVD street.

FACADE — The face of a building, specifically the front that looks onto a ~~SCD~~ FBCVD street or public space.

FBCVD STREET — Specifically the area from curb to curb or shoulder to shoulder within a public or private right-of-way located in the Standish Corner District or the Sebago Lake Village District and primarily used for vehicular movement and on-street parking. Refer to "FBCVD Streetscape" for a more detailed definition of the role of the FBCVD street as part of the public realm as typically defined by the facade of buildings on either side of the FBCVD street right-of-way.

FBCVD STREET FRONTAGE — The lot line coincident with the required build-to-line (RBL) or that portion of the building that is coincident with the required build-to-line (RBL) as required by this section.

FBCVD STREET FRONTAGE TYPE — Street frontage type of a public or private right-of-way established by a Form Based Code Village District Regulating Plan.

FBCVD STREETSCAPE — The urban element that establishes the major part of the public realm. The FBCVD streetscape is composed of thoroughfares (travel lanes for vehicles and bicycles, parking lanes for cars, and sidewalks or paths for pedestrians) as well as the visible private frontages (building facades and elevations, porches, yards, fences, awnings, etc.) and the amenities of the public frontages (FBCVD street trees and plantings, benches, FBCVD streetlights, etc.).

FBCVD STREET SPACE — The space as defined between buildings on opposite sides of the FBCVD street, including streetscape components such as sidewalk and amenities.

FBCVD STREET WALL — A wall, such as masonry, decorative wood or metal, set back (or forward) not more than eight inches from the required build-to-line (RBL) or adjacent building facade and built to the height specified in the FBCVD street frontage type standards.

FORM BASED CODE VILLAGE DISTRICT — (FBCVD) Refers to any district under § 181-7.1, including the Standish Corner District and the Sebago Lake Village District.

INFILL DEVELOPMENT — A project within the existing ~~SCD~~ FBCVD street building fabric.

LOW IMPACT DEVELOPMENT (LID) — A more sustainable land development pattern that results from a site planning process that first identifies critical natural resources, then determines the best layout of a FBCVD ~~SCD~~ street pattern while meeting the applicable ~~Standish Corner District~~ Form Based Code Village District street standards for the applicable Form Based Code Village ~~Standish Corner~~ District Street Frontage Type, and incorporates a range of best management practices (BMPs) that preserve the natural hydrology of the land to minimize and treat stormwater runoff in a decentralized manner.

MINIMUM LOT SIZE REDUCTION PERMIT — A permit issued by the Code Enforcement Officer for lots located within a Form Based Code Village District on Town Center of Town Main ~~SCD street frontage types within the Standish Corner District~~ that are less than 20,000 square feet in area but more than 15,000 square feet in area and that meet the standards of 22 M.R.S.A. § 42, the Maine Subsurface Wastewater Disposal Rules (10-144 CMR Ch. 241), 12 M.R.S.A. § 4807, and the Maine Minimum Lot Size Rules (10-144 CMR Ch. 243), as such statutes and rules may be amended from time to time.

OUTDOOR DISPLAY AND SALES — The display and sale of products and services, during hours of operation, primarily outside of a building or structure approved for such use, excluding vehicles, garden supplies, tires and motor oil, boats, farm equipment, motor homes, burial monuments, building and landscape materials, and lumber yards. Any such incidental use

may not impede pedestrian movement and must meet the applicable standards of the Americans with Disabilities Act. *Editor's Note: See 42 U.S.C. § 12101 et seq.*

PARKING, COMPACT SPACE — A parking space measuring eight feet wide by 16 feet long.

PARKING, STACKED — A parking arrangement in a manner that all cars do not have direct access to a parking aisle.

PEDESTRIAN ORIENTATION — A physical structure or place with design qualities and elements that contribute to an active, inviting and pleasant place for pedestrians that typically includes most of the following elements:

- (1) Building facades that are highly articulated at the ~~SCD~~ FBCVD street level, with interesting uses of material, color, and architectural detailing, located directly behind the sidewalk;
- (2) Visibility into buildings at the ~~SCD~~ FBCVD street level;
- (3) Continuity of building facades along the ~~SCD~~ FBCVD street with few interruptions in the progression of buildings and stores;
- (4) Signs oriented and scaled to the pedestrian rather than the motorist.

PEDESTRIAN-ORIENTED USE — A land use that is intended to encourage walk-in customers and that generally does not limit the number of customers by requiring appointments or otherwise excluding the general public. A pedestrian-oriented use provides spontaneous draw from the sidewalk and ~~SCD~~ FBCVD street due to visual interest, high customer turnover, and/or social interaction.

PRINCIPAL BUILDING — The building in which the principal use of the lot is conducted, usually located toward the frontage of the lot.

PRIVATE FRONTAGE — The privately held layer between the required build-to-line (RBL) and the principal building facade. The structures and landscaping may be held to specific standards. The variables of private frontage are the depth of the setback and the combination of architectural elements such as fences, stoops, porches, and galleries.

PUBLIC FRONTAGE — The area between the curb of the vehicular lanes and the required build-to-line (RBL). Elements of the public frontage include the type of curb, walk, planter, ~~SCD~~ FBCVD street tree, and ~~SCD~~ FBCVD streetlight.

RAIN GARDEN — A planted depression that allows rainwater runoff from impervious urban areas like roofs, driveways, walkways, parking lots, and compacted lawn areas the opportunity to be absorbed.

REGULATING PLAN — The coding key for the ~~Standish Corner District Form Based Code Village Districts~~ Standish Corner Form Based Code Village District Street Frontage Types. ~~SCD~~ FBCVD street frontage types illustrate aspects of the built environment such as how each building lot relates to adjacent properties, building development standards, the ~~SCD~~ FBCVD streetscape, civic space, parks, parking lots as well as the overall desired pattern of development, particularly the importance of connectivity between neighborhoods. Regulating Plans for the Standish Corner District and the Sebago Lake Village District are included at the end of this Chapter as Attachment 181b (Standish Corner District) and Attachment 181c (Sebago Lake Village District) and incorporated herein by reference.

REQUIRED BUILD-TO-LINE (RBL) — Within the ~~Standish Corner District Form Based Code Village Districts~~, a required build-to-line specifies the required location of a new structure in relation to the ~~SCD~~ FBCVD street frontage of a site, so that a proposed building shall effectively assist in shaping the public space of ~~SCD~~ FBCVD streets, to enhance the comfort, safety, and convenience of the pedestrian experience.

REQUIRED BUILD-TO-ZONE (RBZ) — Within the ~~Standish Corner District Form Based Code Village Districts~~, a required build-to-zone establishes where the placement of a building may be in accordance with the applicable ~~SCD~~ FBCVD street frontage type.

ROD — A historic unit of measure equal to 16.5 feet.

SCD — Standish Corner District as shown on the Town of Standish's Official Zoning Map.

SCD STREET — Specifically the area from curb to curb or shoulder to shoulder within a public or private right-of-way located in the Standish Corner District, and primarily used for vehicular movement and on-street parking. Refer to "~~SCD~~ FBCVD Streetscape" for a more detailed definition of the role of the SCD street as part of the public realm as typically defined by the facade of buildings on either side of the SCD street right-of-way.

- (1) TOWN CENTER (TC) SCD STREET FRONTAGE TYPE — Those public or private rights-of-way identified as Town Center on the Standish Corner District Regulating Plan.
- (2) TOWN MAIN (TM) SCD STREET FRONTAGE TYPE — Those public or private rights-of-way identified as Town Main

on the Standish Corner District Regulating Plan.

- (3) TOWN AVENUE (TA) SCD STREET FRONTAGE TYPE — Those public or private rights-of-way identified as Town Avenue on the Standish Corner District Regulating Plan.
- (4) TOWN GATEWAY (TG) SCD STREET FRONTAGE TYPE — Those public or private rights-of-way identified as Town Gateway on the Standish Corner District Regulating Plan.
- (5) TOWN RESIDENTIAL (TR) SCD STREET FRONTAGE TYPE — Those public or private rights-of-way identified as Town Residential on the Standish Corner District Regulating Plan.

SIGNABLE AREA — An area on the facade of a building below the second story specifically designed for locating signage. On existing buildings, the signable area is a space free of windows and doors and does not interfere with architectural details such as columns or cornices.

SINGLE-FAMILY HOME — A room or group of rooms designed and equipped for use as living quarters, including provisions for living, sleeping, eating and cooking on the first story and above in a structure.

SLVD — Sebago Lake Village District as shown on the Town of Standish's Official Zoning Map.

SLVD STREET — Specifically the area from curb to curb or shoulder to shoulder within a public or private right-of-way located in the Sebago Lake Village District, and primarily used for vehicular movement and on-street parking. Refer to "FBCVD Streetscape" for a more detailed definition of the role of the FBCVD street as part of the public realm as typically defined by the facade of buildings on either side of the FBCVD street right-of-way.

- (1) SLV CORE (SLVC) STREET FRONTAGE TYPE — Those public or private rights-of-way identified as SLV Core on the Sebago Lake Village District Regulating Plan.
- (2) SLV FRINGE (SLVF) STREET FRONTAGE TYPE — Those public or private rights-of-way identified as SLV Fringe on the Sebago Lake Village District Regulating Plan.
- (3) SLV GATEWAY (SLVG) STREET FRONTAGE TYPE — Those public or private rights-of-way identified as SLV Gateway on the Sebago Lake Village District Regulating Plan.
- (4) SLV LAKE ACCESS (SLVLA) STREET FRONTAGE TYPE — Those public or private rights-of-way identified as SLV Lake Access on the Sebago Lake Village District Regulating Plan.
- (5) SLV RESIDENTIAL CONNECTOR (SLVRC) STREET FRONTAGE TYPE — Those public or private rights-of-way identified as SLV Residential Connector on the Sebago Lake Village District Regulating Plan.
- (6) SLV RESIDENTIAL (SLVR) STREET SLV FRONTAGE TYPE — Those public or private rights-of-way identified as SLV Residential on the Sebago Lake Village District Regulating Plan.

SUPPLEMENTAL PLANNING BOARD REVIEW — A formal Planning Board review separate and apart from site plan or subdivision review ~~and approval~~ triggered by certain types of projects in ~~Standish Corner District~~ a Form Based Code Village District.

~~**TOWN AVENUE (TA) SCD STREET FRONTAGE TYPE** Those public or private rights of way identified as Town Avenue on the Standish Corner District Regulating Plan.~~

~~**TOWN CENTER (TC) SCD STREET FRONTAGE TYPE** Those public or private rights of way identified as Town Center on the Standish Corner District Regulating Plan.~~

~~**TOWN GATEWAY (TG) SCD STREET FRONTAGE TYPE** Those public or private rights of way identified as Town Gateway on the Standish Corner District Regulating Plan.~~

~~**TOWN MAIN (TM) SCD STREET FRONTAGE TYPE** Those public or private rights of way identified as Town Main on the Standish Corner District Regulating Plan.~~

~~**TOWN RESIDENTIAL (TR) SCD STREET FRONTAGE TYPE** Those public or private rights of way identified as Town Residential on the Standish Corner District Regulating Plan~~

TYPE — A category determined by function, disposition, and configuration, including size or extent. There are community types, ~~SCD~~ FBCVD street types, frontage types and civic space types.

VILLAGE HOUSING — A building or buildings located in ~~the Standish Corner District~~ a Form Based Code Village District that contain at least four but no more than 48 dwelling units with no age restriction on residents.

B. Administrative Provisions

(1) Required permitting.

- (a) Land uses in Form Based Code Village Districts ~~the Standish Corner District~~ are prescribed by the ~~SCD FBCVD~~ street frontage types and shall require written approval as indicated in the "Allowed Land Uses and Permit Requirements" listed within each specific ~~SCD FBCVD~~ street frontage type.
- (b) Permitted uses, not requiring site plan review, are noted per ~~SCD FBCVD~~ street frontage types. Such uses shall require approval of the Code Enforcement Officer only.
- (c) Permitted uses requiring site plan review are noted per ~~SCD FBCVD~~ street frontage type. Such uses shall require Planning Board approval in accordance with Part 2 (Site Plan Review) of this chapter. Some projects may require both site plan and subdivision review and approval.
- (d) Permitted uses requiring Subdivision Review are noted per ~~SCD FBCVD~~ street frontage type. Such uses shall require Planning Board approval in accordance with Part 3 (Subdivision Review) of this Chapter. Some projects may require both site plan and subdivision review and approval.
- (e) Permitted uses triggering supplemental Planning Board review are listed within the specific ~~SCD FBCVD~~ street frontage type.

Whenever a provision of the ~~Standish Corner Form Based Code Village District~~ regulations contained in this section conflicts with or is inconsistent with another provision of this chapter or other ordinances of the Town other than Chapter 237 (Shoreland Zoning), the ~~Standish Corner Form Based Code Village District~~ regulations shall prevail. Whenever a provision of the ~~Standish Corner Form Based Code Village District~~ regulations contained in this section conflicts with or is inconsistent with Chapter 237 (Shoreland Zoning), Chapter 237 shall prevail.

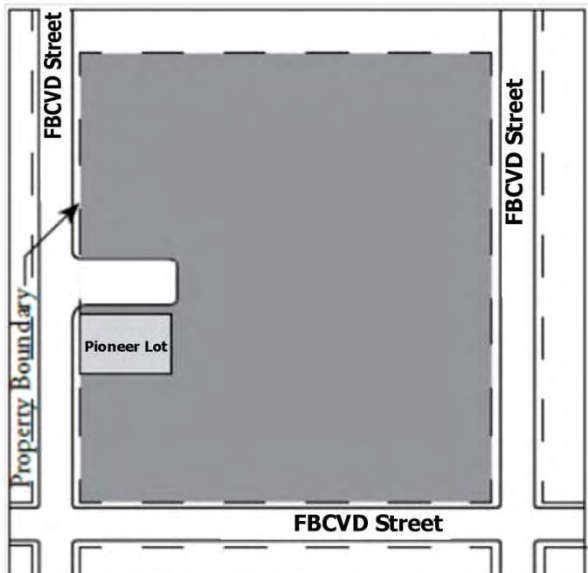
(2) Overall general standard Form Based Code Village Districts.

Form Based Code Village Districts are comprised of the following standards, which guide the form and pattern of development in the Form Based Code Village Districts: the regulating plan, FBCVD street frontage types, the building/parking placement standards, block, length, intersections, standards, FBCVD streetscape/FBCVD street space standards and building form standards.

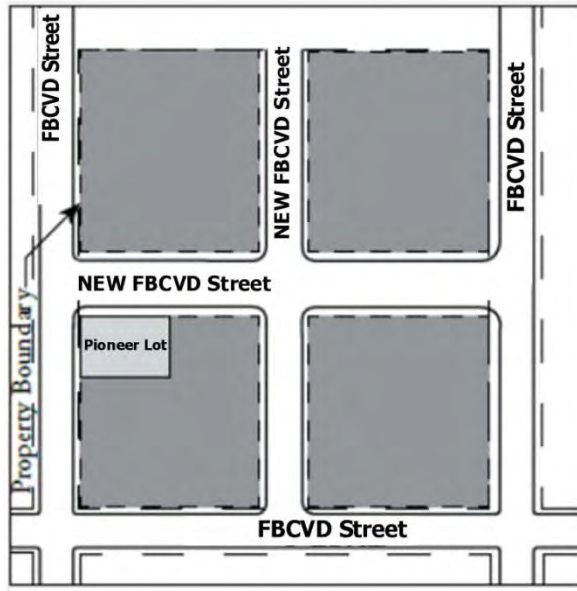
- (a) Regulating plan: The regulating plan is the coding key for a Form Based Code Village District that identifies existing FBCVD street frontage types, provides a key for future allowable FBCVD street frontage types and the related standards such as building form and placement, FBCVD streetscapes and the resulting development patterns. Regulating Plans for the Standish Corner District and the Sebago Lake Village District are included at the end of this Chapter as Attachment 181b (Standish Corner District) and Attachment 181c (Sebago Lake Village District) and incorporated herein by reference.
- (b) FBCVD street frontage types: FBCVD street frontage types illustrate the specific aspects of the built environment in a Form Based Code Village District, including building/parking placement, building form, FBCVD streetscapes, block lengths/intersections and allowable uses.
- (c) Building/parking placement standards: The building/parking placement standards establish basic parameters governing building form, including the envelope for building placement (in three dimensions) and the location of off-street parking and access driveways. The intent of the building/parking placement standards is to shape vital public space in a Form

Based Code Village District through the placement of buildings that frame and activate the public realm in a manner appropriate for the context.

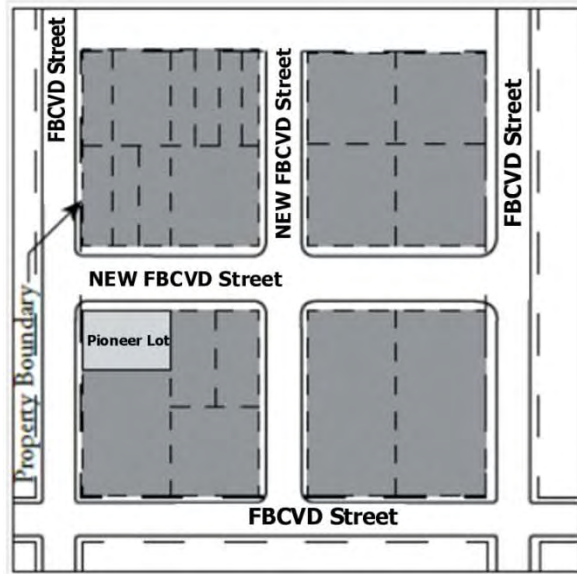
- (d) Block length/intersection standards: The purpose of the block length/intersection standards is to establish interconnected neighborhoods that are walkable and have appropriate transitions from different FBCVD street frontage types, which vary in density, FBCVD streetscape/FBCVD street space and intensity of land use. A critical aspect of the Standish Corner District is to utilize the back lands off of Routes 25 and 35 for a range of open space, housing and economic development opportunities, all while creating a network of interconnected neighborhoods. A block length is the allowable distance between intersections. Intersections determine the allowable transitions between FBCVD street frontage types.
 - (e) FBCVD streetscape/FBCVD street space standards: The purpose of the FBCVD streetscape/FBCVD street space standards is to ensure coherent FBCVD street spaces and to assist builders with understanding the relationship between the public realm of a Form Based Code Village District and their own building(s). These standards set the parameters for the placement of FBCVD street trees, sidewalks and other FBCVD streetscape amenities that define the FBCVD street space (generally defined as the space between the face of buildings on either side of a FBCVD street) as a pedestrian-friendly environment. These standards govern the construction of new streets and the construction of improvements within the public right-of-way in conjunction with a development on an existing street. In addition, these standards should guide any publically funded improvements within the street right-of-way including the reconstruction of existing streets.
 - (f) Building form standards: The goal of the building form standards is to establish a baseline understanding of the architectural quality of buildings (in addition to building placement and other criteria such as height) such as materials, fenestration and construction techniques. Contemporary architecture may complement historic buildings.
- (3) Connectivity Master Plan. The following steps set forth the proper development of a Connectivity Master Plan, which is a required element of site plan or subdivision approval if a project is located in a Form Based Code Village District.
- (a) Site. Begin with "Pioneer Lot" to be divided from larger lot, triggering perpendicular "block" and allowable "Frontage FBCVD Street Type" to access development. Utilize "Frontage FBCVD Street Type" as required parking for development. The developer will build the FBCVD street to the required standards. This begins the block/connectivity process.



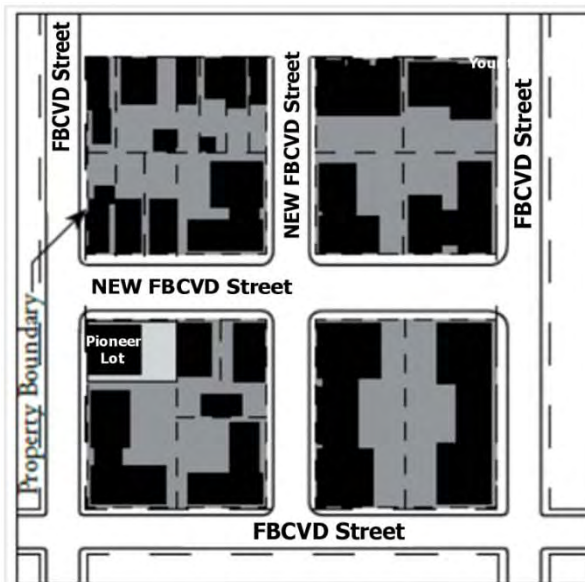
- (b) Introduce FBCVD streets/blocks. Sites being divided shall introduce FBCVD streets from the list of allowable "Frontage FBCVD Street Types" (See the Form Based Code Village District Regulating Plan), complying with "Frontage FBCVD Street Types" block length and connectivity standards, triggering the need for a conceptual Connectivity Master Plan, which shows connections to adjacent parcels and FBCVD streets.



- (c) Introduce lots. Lots are created following standards for "Frontage FBCVD Street Types" establishing neighborhood character, land uses and requiring connectivity within the project and to adjacent land. A conceptual Connectivity Master Plan approved by the Planning Board is required for site plan or subdivision review and approval.



- (d) Introduce building forms. Place buildings on parcels per "Frontage FBCVD Street Type."



- (e) The intent of the Connectivity Master Plan is to encourage a contextual/long-term approach to development, be it a single site or a subdivision.
- (4) Step By Step Guide to the Form Based Code Village Districts: In order to understand how the Form Based Code Village District provisions function, the following basic steps may be reviewed:
- (a) Refer to the District Regulating Plan for the appropriate district, which is the code for existing FBCVD street frontage types and allowable connections to future FBCVD street frontage types. Find the subject property and the existing abutting FBCVD street frontage type. The street frontage types establish the standards for development. The diagram in the upper corner of the Standish Corner Center District Regulating Plan depicts the required build-to-line and the parking setback line.
- (b) The Standish Corner District includes the following hierarchical SCD street frontage types (which can be considered different types of neighborhoods) in order from highest to lowest:
- [1] Town Center (TC) SCD street frontage type: The primary intent of this SCD street frontage type is to strengthen the mixed-use, pedestrian-oriented, traditional street form of the historic Standish Corner (Note: no future TC SCD streets allowed).
 - [2] Town Main (TM) SCD street frontage type: The primary intent of this SCD street frontage type is to encourage a pedestrian-oriented, traditional street form (following the historic eight-rod range way alignment of Route 25), minimizing curb cuts and avoiding the cluttered appearance often associated with "strip mall" style development (Note: no future TM SCD streets allowed).
 - [3] Town Avenue (TA) SCD street frontage type: The primary intent of this SCD street frontage type is to provide a development pattern that transitions between the more arterial/historic alignment of the TM or Town Gateway (TG) SCD street frontage types and the Town Residential (TR) type neighborhoods surrounding the higher density historic core, arterials and corridors. The TA SCD street frontage type is a walkable environment defined by the scale and placement of buildings and includes a mixture of compatible residential, retail, entertainment, professional and live work uses (Note: future TA SCD streets allowed).
 - [4] Town Gateway (TG) SCD street frontage type: The intent of this frontage type is to provide for areas of development within the Standish Corner District that are not pedestrian oriented and are

not primarily defined by the placement of buildings and the quality of the SCD streetscape as much as the buffering of buildings to maintain or create a rural, visually uncluttered character along the major arterials (Routes 25 and 35) (Note: no future TG SCD streets allowed).

- [5] Town Residential (TR) SCD street frontage type: The intent of this frontage type is to reinforce the character of existing traditional neighborhoods and to encourage the development of new or retrofitted residential neighborhoods consistent with traditional and walkable neighborhood SCD street patterns surrounding and directly supporting the social, cultural and economic activities of the TC, TM, TA and TG SCD street frontage types (Note: no future TG SCD streets allowed).

SCD NOTE: When a parcel is a corner lot, the standards of the SCD street frontage type with great prevails, with the Town Center (TC) SCD street frontage type being the highest and Town Residential street frontage type being the lowest.

- (c) The Sebago Lake Village District includes the following hierarchical SLVD street frontage types (which can be considered different types of neighborhoods) in order from highest to lowest:

- [1] SLV Core frontage type: The primary intent of this SLVD frontage type is to strengthen the mixed-use oriented traditional street form at the core intersection of the Sebago Lake Village District (State Route (Note: no future SLV Core streets allowed).
- [2] SLV Fringe frontage type: The primary intent of this SLVD frontage type is to encourage a mixed-use, oriented, traditional street form stemming from the SLV Core, minimizing curb cuts and avoiding the appearance often associated with "strip mall" style development. (Note: no future SLV Fringe streets a
- [3] SLV Gateway frontage type: The primary intent of this SLVD frontage type is to provide a mixed-use pattern that transitions between the more arterial alignment of the SLV Core and SLV Fringe frontage. SLV Residential type neighborhoods surrounding the arterials and corridors. The SLV Gateway street walkable environment defined by the scale and placement of buildings and includes a mixture of comp residential, retail, entertainment, professional and live work uses (Note: No future SLV Gateway street
- [4] SLV Residential Connector frontage type: The primary intent of this SLVD frontage type is to provide for a road that would link Routes 35 and 114 without needing to go through SLV Core. (Note: Future S Connector Streets allowed).
- [5] SLV Residential frontage type: The primary intent of this SLVD frontage type is to reinforce the chara traditional neighborhoods and to encourage the development of new or retrofitted residential neighborl with traditional and walkable neighborhood SLV street patterns surrounding and directly supporting th and economic activities of the other SLV street frontage types (Note: future SLV Residential streets all

SLV Lake Access frontage type: The primary intent of this SLVD frontage type is to enhance the conn

- [6] Sebago Lake Village and the Sebago Lake waterfront while protecting the region's drinking water supp

SLV NOTE: When a parcel is a corner lot or is adjacent to two or more SLVD street frontage types, of the SLVD street frontage type with the greater hierarchy prevails, with the SLV Core being the hi SLV Access being the lowest, except when the parcel is adjacent to a SLV Lake Access Street Front parcel has frontage on a SLV Lake Access Street , the provisions of the SLV Lake Access frontage t all street frontages.

- (d) Once the parcel is located, refer to the appropriate building development standards as defined by the FBCVD street frontage type's standards in this section. The FBCVD street frontage types outline the specific details for such issues as building placement, parking location, building form, block lengths, FBCVD streetscapes and uses.
- (e) For Code Enforcement Officer review: Proceed to the Code Enforcement Officer.
- (f) For site plan review: Proceed to Chapter 181, Part 2 (Site Plan Review).
- (g) For subdivision review: Proceed to Chapter 181, Part 3 (Subdivision Regulations).

- (5) Supplemental Planning Board Review in the Standish Corner District. For any project triggering supplemental

Planning Board review within the Standish Corner District, the review process shall be as follows:

- (a) On SCD Town Main, SCD Town Gateway and existing and proposed SCD Town Avenue street frontage types, building footprints are allowed up to 5,000 square feet. Applicants for developments with buildings that have a footprint greater than 5,000 square feet must demonstrate compliance with the following standards:

- [1] Thirty percent of off-street parking shall be shared. After business hours, 100% of the parking shall be for designated spaces for dwelling units.
- [2] All existing curb cuts on the frontage shall be closed, and one shared driveway shall access the shared
- [3] If the building is on a corner parcel, a shared driveway shall be created on the secondary SCD street.
- [4] The shared access shall be built to an allowable SCD street frontage type if the development abuts front land, an existing street or a proposed right-of-way shown on a Planning Board approved Connectivity Map. Such streets shall provide for the proper continuation of streets from adjacent subdivisions and built-up proper projection of streets into adjacent un-subdivided and open land. Notwithstanding the above subsection [4], the following requirements apply to "Pioneer Lots" described in § 181-7.1 (B)(3) containing with building footprints between 5,000 and 15,000 SF:

[a] Prior to the issuance of a building permit for the Pioneer Lot, the full required width and length of access shall be permanently reserved to the allowable SCD street frontage type by such instrument approved by the Town Attorney and recorded by the owner of the Pioneer Lot in the Registry of Deeds;

[b] Only one-half of the width of the allowable SCD street frontage type need be built prior to occupying Pioneer Lot when only the Pioneer Lot is being served by the shared access;

[c] Travel lane improvements shall be built and substituted for on-SCD street parking and bike lane as part of the built SCD street frontage type when only the Pioneer Lot is being served by the shared access;

[d] The length of the allowable SCD street frontage type required to be built to serve the Pioneer Lot occupancy shall be such length as is necessary, as determined by the Planning Board, to serve the Pioneer Lot;

[e] As soon as the shared access is to serve more than the Pioneer Lot, the entire width and length of the SCD street frontage type shall be built to the allowable SCD street frontage type on the Pioneer Lot.

- [5] Parking areas shall include connections to existing or future parking areas on adjacent parcels.
- [6] The building shall meet the applicable SCD street frontage type building form and SCD streetscape standards
- [7] The applicable SCD street frontage type SCD streetscape standards shall be installed and maintained by the developer.

- (b) On SCD Town Center, SCD Town Avenue and SCD Town Main street frontage types, applicants for developments that do not utilize the applicable required parking spaces, but choose to create additional parking spaces above applicable required parking spaces, must demonstrate compliance with the following standard:

- [1] Thirty percent of off-street parking shall be shared. After business hours, 100% of the parking shall be shared except for designated spaces for dwelling units.

- (c) On SCD Town Center street frontage type, parcels that are less than 20,000 square feet in area but are more than 15,000 square feet in area are required to receive a minimum lot size reduction permit from the Code Enforcement Officer prior to grant of any Planning Board approval or issuance of any building permit, whichever occurs first, as applicable. Only the lots served by public water are eligible for a minimum lot size reduction permit.

- (d) On SCD Town Center, SCD Town Avenue and SCD Town Main street frontage types, applicants for developments that do not meet the applicable SCD street frontage type minimum SCD street frontage required build-to-line must demonstrate compliance with the following standards:

- [1] The proposed new building is placed on the lot to the minimum setback on one side of the lot frontage

accommodate future parcel subdivision and/or building development on the remainder of the parcel.

- [2] Identification on the site plan to which side setback the parcel building shall be placed, the size of the building, the location of parking, the location of driveway egress and how remaining frontage shall be subdivided (if applicable) and how remaining frontage shall be treated to maintain a building wall or permanently screen parking the required distance from the required build-to-line.
- [3] If off-street parking, located at the applicable SCD street frontage type parking setback line, is clearly visible from the SCD street then it shall be adequately screened by landscaping treatment or else the construction of a SCD street wall (20 to 40 inches in height along the required build-to-line) shall be required.
- [4] If off-street parking is the long-term design for the remaining required build-to-line SCD street frontage, then all existing curb cuts shall be closed, and one shared driveway to the parking area shall be built, and 30% of the parking shall be shared, and after business hours 100% of the parking shall be shared, except parking spaces designated for dwelling units.
- [5] If the parcel abuts adjacent developable land or existing SCD streets or right-of-way, then the access drive shall be built to the allowable SCD street frontage type to encourage future development and connectivity.
- [6] If off-street parking is the long-term plan for the remaining required build-to-line frontage, the required SCD streetscape for the existing SCD street frontage type shall be installed at the time of construction.

(e) If a proposed building on a SCD Town Center, SCD Town Avenue or SCD Town Main street frontage type is greater than 50 linear feet along the applicable minimum SCD street frontage, the applicant shall demonstrate compliance with the following standards:

- [1] All existing curb cuts shall be removed, and one shared driveway shall be created.
- [2] The applicable SCD street frontage type building standards shall be met and the building configuration shall be articulated into more than one form using changes in architectural features such as dormers, materials or fenestration.
- [3] The SCD streetscape required by the applicable SCD street frontage type shall be installed and maintained at the time of construction at the expense of the developer.

(6) Supplemental Planning Board Review in the Sebago Lake Village District. For any project triggering supplemental Planning Board review within the Sebago Lake Village District the review process shall be as follows:

- (a) On SLV Core, SLV Fringe, and SLV Gateway street frontage types, applicants for developments that do not utilize the applicable required parking spaces, but choose to create additional parking spaces above applicable required parking spaces, must demonstrate compliance with the following standards:
 - [1] Thirty percent of off-street parking shall be shared. After business hours, 50% of the parking shall be shared except for designated spaces for dwelling units.
- (b) On SLV Core, SLV Fringe, and SLV Gateway street frontage type, parcels that are less than 20,000 square feet in area are required to receive a minimum lot size reduction permit from the Code Enforcement Officer prior to grant of any Planning Board approval or issuance of any building permit, whichever occurs first as applicable. Only lots served by public water are eligible for a minimum lot size reduction permit.
- (c) On SLV Core, SLV Fringe, and SLV Gateway street frontage types, applicants for developments that do not meet the applicable FBCVD street frontage type minimum FBCVD street frontage required build-to-line must demonstrate compliance with the following standards:
 - [1] The proposed new building is placed on the lot to the minimum setback on one side of the lot frontage so as to accommodate future parcel subdivision and/or building development on the remainder of the parcel.
 - [2] Identification on the site plan to which side setback the parcel building shall be placed, the size of

the building, the location of parking, the location of driveway egress and how remaining frontage shall be subdivided (if applicable) and how remaining frontage shall be treated to maintain a building wall or permanently screen parking the required distance from the required build-to-line.

- [3] If off-street parking, located at the applicable street frontage type parking setback line, is clearly visible from the SLVD street then it shall be adequately screened by landscaping treatment or else the construction of a FBCVD street wall (20 to 40 inches in height along the required build-to-line) shall be required.
- [4] If the parcel abuts adjacent developable land or existing SLVD streets or right-of-way, then the access drive shall be built to the allowable SLVD street frontage type to encourage future development and connectivity.
- [5] If off-street parking is the long-term plan for the remaining required build-to-line frontage, the required SLVD streetscape for the existing street frontage type shall be installed at the time of construction.

(d) If a proposed building on a SLV Core, SLV Fringe, and SLV Gateway street frontage type is greater than 50 linear feet along the applicable minimum SLVD street frontage, the applicant shall demonstrate compliance with the following standards:

- [1] All existing curb cuts shall be removed, and one shared driveway shall be created.
- [2] The applicable SLVD street frontage type building standards shall be met and the building configuration shall be articulated into more than one form using changes in architectural features such as dormers, materials or fenestration.
- [3] The SLVD streetscape required by the applicable street frontage type shall be installed and maintained at the time of construction at the expense of the developer.

(7) General Notes

- (a) All developments in a Form Based Code Village District, except for a new single family dwelling located on a lot of record created prior to the district, shall be on public water and include buried utilities unless a waiver is granted per § 181-73 or § 181-95 of this chapter.
- (b) Each FBCVD street frontage type has a range of activities that may trigger a supplemental Planning Board
- (c) Parking shall be provided and located in compliance with the FBCVD street frontage type. Any parking that exceeds the minimum amount required by the applicable FBCVD street frontage type must be designed in accordance with § 181-20 (Off-street parking design), § 181-24 (Off-street parking and loading space requirements), and § 140 (Fire Lanes).
- (d) All development within a Form Based Code Village District creating more than 10,000 square feet of new impervious surfaces must employ low impact development (LID) technologies such as, but not limited to, pervious concrete, bituminous concrete, porous pavers and rain gardens or best management practices (BMPs) as parcels are developed to minimize and treat storm water runoff. Existing developed areas should be retrofitted with LID or best management practices (BMPs) as parcels are redeveloped to minimize and treat storm water runoff in a decentralized manner. The LID Guidance for Maine Communities: Approaches for Implementation of Low Impact Development at the Local Level, prepared for the Maine Coastal Program of Maine State Planning Office and dated September 21, 2011, shall be amended from time to time, as a primary resource in addition to ongoing research and field testing of LID for northern climates.
- (e) The siting of drive-through windows must be located behind and screened by the principal building, unless specified in the permitted use sections of each SCD FBCVD street frontage type. Location and design of the driveway shall minimize impacts on pedestrian activity and comply with the Town of Standish Access Management Standards. Editor's Note: See also Ch. 252, Art. IV, § 252-28, Access Management Standards. Stacking of cars shall not be permitted in an access driveway, and instead the parking lot must be used for stacking. The diagrams shall be representative of appropriate site design for drive-throughs that meet these standards.
[Added 1-8-2013 by Order No. 29-12]



C. Step-by-step guide to SCD:

In order to understand how the Standish Corner District provisions function, the following basic steps may be reviewed:

- (1) Refer to the Standish Corner District Regulating Plan, which is the code for existing SCD street frontage types and allowable connections to future SCD street frontage types. Find the subject property and the existing abutting SCD street frontage type. The SCD street frontage types (such as Town Main or Town Residential) establish the standards for development. The diagram in the upper corner of the Standish Corner District Regulating Plan depicts the required build to line and the parking setback line.
- (2) The Standish Corner District includes the following hierarchical SCD street frontage types (which can be considered different types of neighborhoods) in order from highest to lowest:
 - (a) Town Center (TC) frontage type: The primary intent of this SCD street frontage type is to strengthen the mixed use, pedestrian oriented, traditional street form of the historic Standish Corner (Note: no future TC SCD streets allowed).
 - (b) Town Main (TM) SCD street frontage type: The primary intent of this SCD street frontage type is to encourage a pedestrian oriented, traditional street form (following the historic eight rod range way alignment of Route 25), minimize curb cuts and avoiding the cluttered appearance often associated with "strip mall" style development (Note: no future T SCD streets allowed).
 - (c) Town Avenue (TA) SCD street frontage type: The primary intent of this SCD street frontage type is to provide a development pattern that transitions between the more arterial/historic alignment of the TM or Town Gateway (TG) SCD street frontage types and the Town Residential (TR) type neighborhoods surrounding the higher density historic core, arterials and corridors. The TA SCD street frontage type is a walkable environment defined by the scale and placement buildings and includes a mixture of compatible residential, retail, entertainment, professional and live work uses (Note: future TA SCD streets allowed).
 - (d) Town Gateway (TG) SCD street frontage type: The intent of this frontage type is to provide for areas of development within the Standish Corner District that are not pedestrian oriented and are not primarily defined by the placement of buildings and the quality of the SCD streetscape as much as the buffering of buildings to maintain or create a rural, visually uncluttered character along the major arterials (Routes 25 and 35) (Note: no future TG SCD streets allowed).
 - (e) Town Residential (TR) frontage type: The intent of this frontage type is to reinforce the character of existing traditional neighborhoods and to encourage the development of new or retrofitted residential neighborhoods consistent with traditional and walkable neighborhood SCD street patterns surrounding and directly supporting the social, cultural and economic activities of the TC, TM, TA and TG SCD street frontage types (Note: no future TG SCD streets allowed).

NOTE: When a parcel is a corner lot, the standards of the SCD street frontage type with greater hierarchy

prevails, with the Town Center (TC) SCD street frontage type being the highest and Town Residential (TR) SCD street frontage type being the lowest.

- (3) Once the parcel is located, refer to the appropriate building development standards as defined by the SCD street frontage types standards in this section. The SCD street frontage types outline the specific details for such issues as building placement, parking location, building form, block lengths, SCD streetscapes and uses.
- (4) For Code Enforcement Officer review and approval: Proceed to the Code Enforcement Officer.
- (5) For site plan review: Proceed to Chapter 181, Part 2 (Site Plan Review).
- (6) For subdivision review: Proceed to Chapter 181, Part 3 (Subdivision Regulations).
- (7) For any project triggering supplemental Planning Board review within the Standish Corner District the review and approval shall be as follows:
 - (a) On Town Main, Town Gateway and existing and proposed Town Avenue SCD street frontage types, building footprints are allowed up to 5,000 square feet. Applicants for developments with buildings that have a footprint greater than 5,000 square feet must demonstrate compliance with the following standards:
 - [1] Thirty percent of off street parking shall be shared. After business hours, 100% of the parking shall be shared except for designated spaces for dwelling units.
 - [2] All existing curb cuts on the frontage shall be closed, and one shared driveway shall access the shared parking.
 - [3] If the building is on a corner parcel, a shared driveway shall be created on the secondary SCD street.
 - [4] The shared access shall be built to an allowable SCD street frontage type if the development abuts future developable land, an existing street or a proposed right of way shown on a Planning Board approved Connectivity Master Plan. Such streets shall provide for the proper continuation of streets from adjacent subdivisions and built up areas and proper projection of streets into adjacent unsubdivided and open land.
 - [5] Parking areas shall include connections to existing or future parking areas on adjacent parcels.
 - [6] The building shall meet the applicable SCD street frontage type building form and SCD streetscape standards.
 - [7] The applicable SCD street frontage type SCD streetscape standards shall be installed and maintained at the cost of the developer.
 - (b) On Town Center, Town Avenue and Town Main SCD street frontage types, applicants for developments that do not utilize the applicable required parking spaces, but choose to create additional parking spaces above applicable required parking spaces, must demonstrate compliance with the following standards:
 - [1] Thirty percent of off street parking shall be shared. After business hours, 100% of the parking shall be shared except for designated spaces for dwelling units.
 - (c) On Town Center SCD street frontage type, parcels that are less than 20,000 square feet in area but are more than 15,000 square feet in area are required to receive a minimum lot size reduction permit from the Code Enforcement Officer prior to grant of any Planning Board approval or issuance of any building permit, whichever occurs first as applicable. Only lots served by public water are eligible for a minimum lot size reduction permit.
 - (d) On Town Center, Town Avenue and Town Main SCD street frontage types, applicants for developments that do not meet the applicable SCD street frontage type minimum SCD street frontage required build to line must demonstrate compliance with the following standards:
 - [1] The proposed new building is placed on the lot to the minimum setback on one side of the lot frontage so as to accommodate future parcel subdivision and/or building development on the remainder of the parcel.
 - [2] Identification on the site plan to which side setback the parcel building shall be placed, the size of the building, the location of parking, the location of driveway egress and how remaining frontage shall be subdivided (if applicable) and how remaining frontage shall be treated to maintain a building wall or permanently screen parking the required distance from the required build to line.
 - [3] If off street parking, located at the applicable SCD street frontage type parking setback line, is clearly visible from the SCD street then it shall be adequately screened by landscaping treatment or else the construction of a SCD street wall (20 to 40 inches in height along the required build to line) shall be required.

[4] If off street parking is the long term design for the remaining required build to line SCD street frontage, then all existing curb cuts shall be closed, and one shared driveway to the parking area shall be built, and 30% of the parking shall be shared, and after business hours 100% of the parking shall be shared, except parking spaces designated for dwelling units.

[5] If the parcel abuts adjacent developable land or existing SCD streets or right of way, then the access drive shall be built to the allowable SCD street frontage type to encourage future development and connectivity.

[6] If off street parking is the long term plan for the remaining required build to line frontage, the required SCD streetscape for the existing SCD street frontage type shall be installed at the time of construction.

(e) If a proposed building on a Town Center, Town Avenue or Town Main SCD street frontage type is greater than 50 linear feet along the applicable minimum SCD street frontage, the applicant shall demonstrate compliance with the following standards:

[1] All existing curb cuts shall be removed, and one shared driveway shall be created.

[2] The applicable SCD street frontage type building standards shall be met and the building configuration shall be articulated into more than one form using changes in architectural features such as dormers, materials or fenestration.

[3] The SCD streetscape required by the applicable SCD street frontage type shall be installed and maintained at the time of construction at the expense of the developer.

D. Overall general standard in Standish Corner District. The Standish Corner District is comprised of the following standards, which guide the form and pattern of development in the Standish Corner District: the regulating plan, SCD street frontage types, the building/parking placement standards, block, length, intersections, standards, SCD streetscape/SCD street space standards and building form standards.

(1) Regulating plan: The regulating plan is the coding key for the Standish Corner District that identifies existing SCD street frontage types, provides a key for future allowable SCD street frontage types and the related standards such as building form and placement, SCD streetscapes and the resulting development patterns.

(2) SCD street frontage types: SCD street frontage types illustrate the specific aspects of the built environment in the Standish Corner District, including building/parking placement, building form, SCD streetscapes, block lengths/intersections and allowable uses.

(3) Building/parking placement standards: The building/parking placement standards establish basic parameters governing building form, including the envelope for building placement (in three dimensions) and the location of off street parking and access driveways. The intent of the building/parking placement standards is to shape vital public space in the Standish Corner District through the placement of buildings that frame and activate the public realm in a manner appropriate for the context.

(4) Block length/intersection standards: The purpose of the block length/intersection standards is to establish interconnected neighborhoods that are walkable and have appropriate transitions from different SCD street frontage types, which vary in density, SCD streetscape/SCD street space and intensity of land use. A critical aspect of the Standish Corner District is to utilize the back lands off of Routes 25 and 35 for a range of open space, housing and economic development opportunities, while creating a network of interconnected neighborhoods. A block length is the allowable distance between intersections. Intersections determine the allowable transitions between SCD street frontage types.

(5) SCD streetscape/SCD street space standards: The purpose of the SCD streetscape/SCD street space standards is to ensure coherent SCD street spaces and to assist builders with understanding the relationship between the public realm of the Standish Corner District and their own building(s). These standards set the parameters for the placement of SCD street trees, sidewalk and other SCD streetscape amenities that define the SCD street space (generally defined as the space between the face of buildings on either side of a SCD street) as a pedestrian friendly environment.

(6) Building form standards: The goal of the building form standards is to establish a baseline understanding of the architectural quality of buildings (in addition to building placement and other criteria such as height) such as materials, fenestration and construction techniques. Contemporary architecture may complement historic buildings. The replication of specific styles is not required.

E. General notes.

(1) All developments in the Standish Corner District shall be on public water and include buried utilities unless a waiver is granted per § 181-73 or § 181-95 of this chapter.

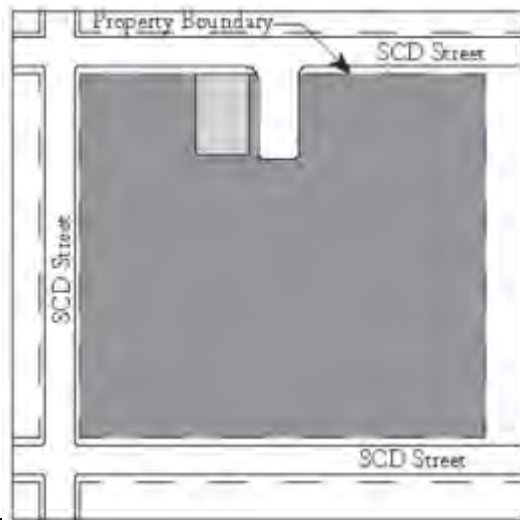
(2) Each SCD street frontage type has a range of activities that may trigger a supplemental Planning Board review.

- (3) Parking shall be provided and located in compliance with the SCD street frontage type. Any parking provided that exceeds the minimum amount required by the applicable SCD street frontage type must be designed in compliance with § 181-20 (Off-street parking design), § 181-24 (Off-street parking and loading space requirements), and Chapter 140 (Fire Lanes).
- (4) All development within the Standish Corner District creating more than 10,000 square feet of new impervious surfaces must employ low impact development (LID) technologies such as, but not limited to, pervious concrete and bituminous concrete, porous pavers and rain gardens or best management practices (BMPs) as parcels are developed to minimize and treat stormwater runoff. Existing developed areas should be retrofitted with LID or best management practices (BMPs) as parcels are redeveloped to minimize and treat stormwater runoff in a decentralized manner. Refer to LID Guidance for Maine Communities: Approaches for Implementation of Low Impact Development at the Local Level, prepared for the Maine Coastal Program of Maine State Planning Office and dated September 21, 2007, as may be amended from time to time, as a primary resource in addition to ongoing research and field testing of LID/BMPs for northern climates.

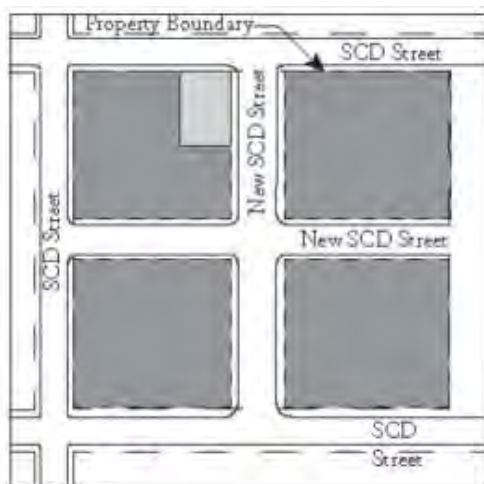
F. **Standish Corner District Regulating Plan.** The Standish Corner District Regulating Plan is included at the end of this chapter as Attachment 2.

G. **Connectivity Master Plan.** The following steps set forth the proper development of a Connectivity Master Plan, which is a required element of site plan or subdivision approval if a project is located in the Standish Corner District.

- (Site. Begin with "Pioneer Lot" to be divided from larger lot, triggering perpendicular "block" and allowable "Frontage SCD Street Type" to access development. Utilize "Frontage SCD Street Type" as required parking for development. The developer) will build the SCD street to the required standards. This begins the block/connectivity process.



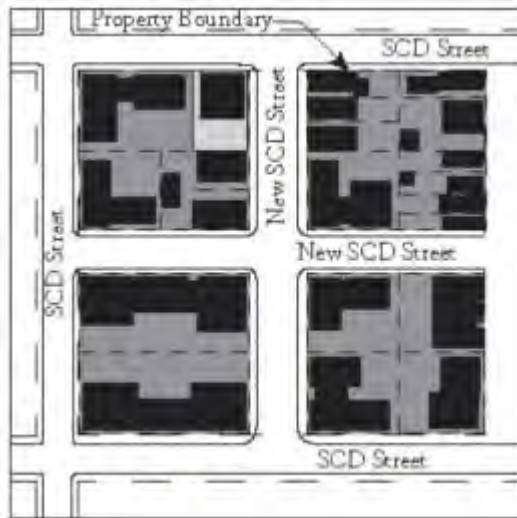
- (Introduce SCD streets/blocks. Sites being divided shall introduce SCD streets from the list of allowable "Frontage SCD Street 2 Types" (See Standish Corner District Regulating Plan.), complying with "Frontage SCD Street Types," block length and) connectivity standards, triggering the need for a conceptual Connectivity Master Plan, which shows connections to adjacent parcels and SCD streets.



(Introduce lots. Lots are created following standards for "Frontage SCD Street Types" establishing neighborhood character,
 3 land uses and requiring connectivity within the project and to adjacent land. A conceptual Connectivity Master Plan approved
) by the Planning Board is required for site plan or subdivision review and approval.



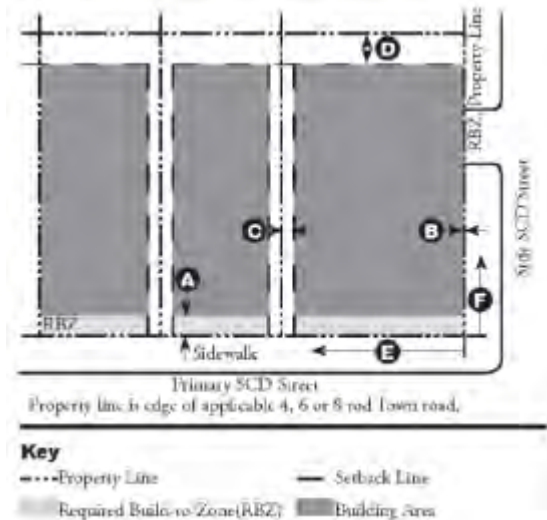
(Introduce building forms. Place buildings on parcels per "Frontage SCD Street Type."
 4
)



(The intent of the Connectivity Master Plan is to encourage a contextual/long term approach to development, be it a single site
 5 or a subdivision.
)

C. Standish Corner District Standards

[1] Town Center (TC) standards.



(a) Lot Size (TC)

Minimum lot size of 15,000 square feet, which triggers Supplemental Planning Board (SPB) review. Lots between 15,000 and 20,000 square feet require a minimum lot size reduction permit issued by Code Enforcement Officer.

(b) Lot Size (TC)

Required build-to-zone (distance from property line)

Front from edge of 4-, 6- or 8-rod road 0 feet minimum to 10 feet maximum **A**

Side SCD street, corner lot 0 feet **B**

* For redevelopment properties where adjacent buildings are set back less than 12 feet from the public right-of-way, the front build-to-zone maximum may be set to align with the front face of immediately adjacent properties.

Setback

Side 5 feet minimum **C**

Rear Adjacent to residential 10 feet minimum **D**

Adjacent to any other use 5 feet minimum **D**

Building Form (relationship between building width and lot width)

Primary SCD street RBZ 60% minimum to 80% maximum **E**

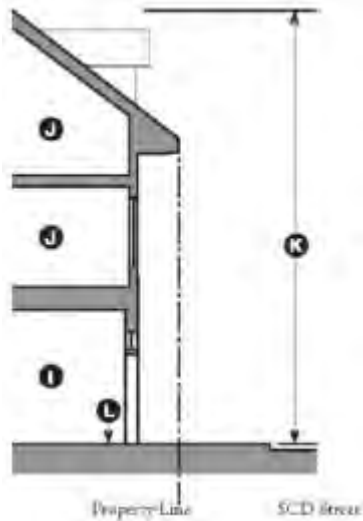
Side SCD street, corner lot RBZ 30% minimum **F**

Notes

Rear-facing buildings, loading docks, overhead doors, and other service entries are prohibited on SCD street-facing facades.

All floors must have a primary ground-floor entrance that faces the SCD street.

Maximum building footprint of 5,000 square feet.



(c) **Mix Use (TC)**

Ground floor Residential uses are prohibited. **I**

Upper floor(s) Residential and other permitted uses **J**

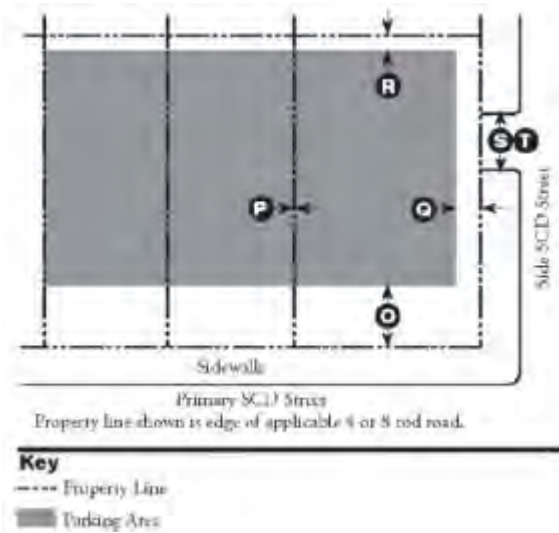
(d) **Height (TC)**

Building minimum 16 feet **K**

Building maximum 35 feet **K**

Ancillary building maximum 22 feet

Finish ground floor level 12 inches maximum above sidewalk **L**



(e) **Parking (TC)**

*Location (distance from property line)**

Front setback 20 feet minimum **O**

Side setback 0 feet minimum **P**

Side SCD street setback 10 feet minimum **Q**

Rear setback	5 feet minimum	R
--------------	----------------	----------

* A setback of 15 feet is required when adjacent to an existing residential use.

Required Spaces

Ground floor		
	Uses less than 3,000 square feet (1 story)	1 space/200 square feet
	Uses less than 3,000 square feet (2 story)	No off-SCD street parking required
	Uses greater than 3,000 square feet	1 space/400 square feet
Upper floor(s)		
	Residential uses	1 space/unit; 0.5 space/studio
	Other uses	1 space/600 square feet
Parking drive width	16 feet minimum	S
Or as required by Standish Fire Department		
On corner lots, parking drive shall not be located on primary SCD street.		T

Notes

Shared drives are encouraged between adjacent lots to minimize curb cuts.

Fifty percent of the parking requirement may be provided off site within 1,300 feet, on site, or as shared parking. Off-site parking as approved by the Planning Board with evidence of perpetual right of owner, his/her/its successors and assigns to use off-site parking by instrument recorded at Registry of Deeds.

Fifty percent of parking may utilize compact parking space dimensions.

(f) **SCD Street Space (TC)**

Location (width distances)

Sidewalk	8 feet (both sides)	U
Amenity zone	8 feet for 66-foot-wide right-of-way	V
Shoulder	6 feet (two lanes)	W
Travel lanes	11 feet (two lanes)	X

(g) **Blocks and Intersections (TC)**

Block length 250 feet minimum to 450 feet maximum

Intersection TA (new SCD street)

(h) **Supplemental Planning Board Review Triggers (TC)**

Proposed or existing buildings not meeting minimum RBZ SCD street frontage requirement

Proposed projects not utilizing TC required parking spaces

Proposed buildings more than 50 feet along RBZ SCD street frontage

Proposed lot less than 20,000 square feet but greater than or equal to 15,000 square feet

(i) **Town Center (TC) allowed land uses and permit requirements (TC)**

- [1] Refer to the Standish Corner District Regulating Plan for the location of SCD street frontage types to determine permitted uses.
- [2] Nonconforming uses existing as of the date of adoption of the Standish Corner District are subject to standards of Article V (Nonconforming Uses). When site plan review is triggered by a proposed change in use and/or structure, the use and/or structure shall comply with applicable SCD street frontage type

standards to the greatest extent practicable as determined by the Planning Board.

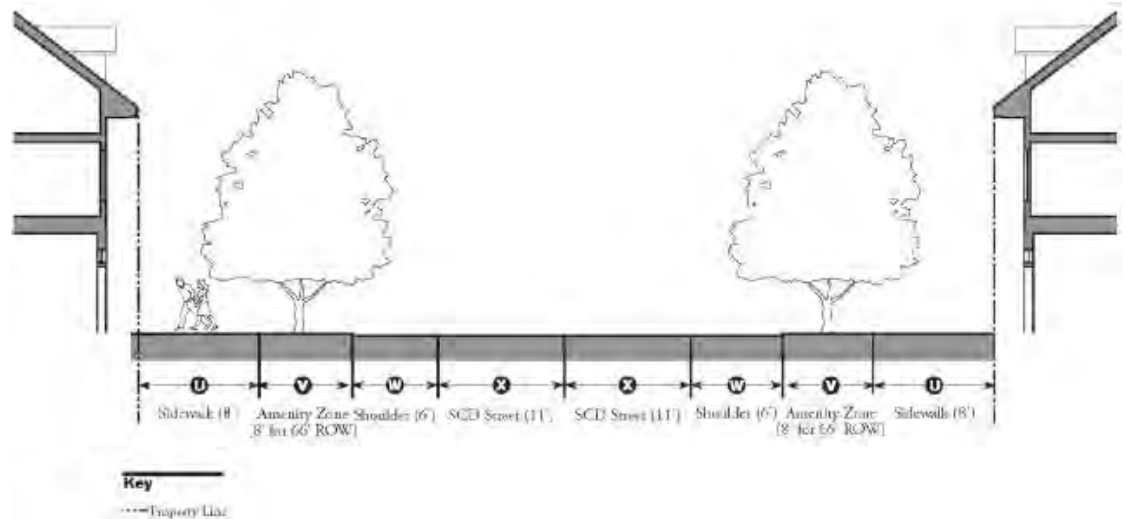
- [3] Planning Board review is required for new construction, expansion, reconstruction and subdivision, but only Code Enforcement Officer approval is required for subsequent changes in use in existing structures that meet all of the following:
 - [a] Do not increase anticipated traffic volumes by more than 10%;
 - [b] Do not change vehicular traffic patterns;
 - [c] Do not increase parking requirements by more than 10%;
 - [d] Do not change the exterior visual appearance of buildings and continue to meet the applicable SCD street frontage type standards; and
 - [e] That are eligible for a permit by the Code Enforcement Officer per SCD street frontage type.
- [4] Permitted uses, not requiring site plan review, shall be as follows. Such uses shall require approval from the Code Enforcement Officer only:
 - [a] Accessory uses and buildings.
 - [b] Agriculture.
 - [c] Dwelling, Standish Corner District, one unit.
 - [d] Dwelling, Standish Corner District, two units.
 - [e] Dwelling, Standish Corner District, studio.
 - [f] Home Occupation Level 1.
 - [g] Home Occupation Level 2.
 - [h] Home Occupation Level 3.
 - [i] Home retail sales.
 - [j] Outdoor display and sales.
 - [k] Yard or garage sale.
 - [l] Tradesman.
- [5] Permitted uses requiring site plan or subdivision review shall be as follows. Such uses shall require Planning Board approval, in accordance with Part 2 or Part 3 of this chapter:
 - [a] Art center – indoor.
 - [b] Art gallery/museum.
 - [c] Bed-and-breakfast.
 - [d] Business professional building.
 - [e] Convenience store.
 - [f] Dwelling, Standish Corner District, multiplefamily.
 - [g] Inns.
 - [h] Municipal uses.
 - [i] Public utility.
 - [j] Restaurant (includes outdoor dining).
 - [k] Retail businesses.
 - [l] Schools.

(j) **Building form standards (TC)**

- [1] Window and door to facade ratios:

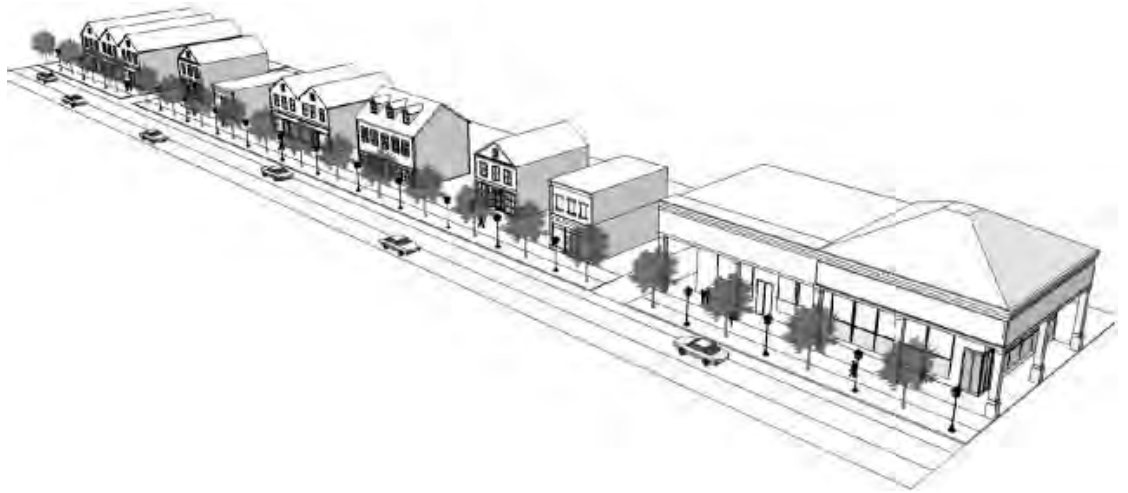
- [a] Blank lengths of wall exceeding 20 linear feet are prohibited on all RBZs.
 - [b] Fenestration on the ground story facades shall comprise at least 50%, but not more than 90%, of the facade area situated between two and eight feet above the adjacent public sidewalk on which the facade fronts.
 - [c] Fenestration on the upper story facades shall comprise at least 30%, but not more than 70%, of the facade area per story (measured as a percentage of the facade between floor levels).
 - [d] The building facade may include jogs within the RBZ to articulate entrances, break down the form of the building or create outdoor areas for seating or the display of goods.
- [2] Building projections:
- [a] Awnings, porches and stoops shall not project closer than five feet to a common lot line.
 - [b] No part of any building, except projecting signage, overhanging eaves, balconies, bay windows and awnings, shall encroach beyond the minimum required RBZ. An eight-foot clearance must be maintained between the ground and the bottom of the projecting encroachment. The top of projecting signage or awnings shall not be placed higher than the second story floor.
- [3] Doors/entries:
- [a] Functioning entry door(s) shall be provided along ground story facades at intervals of not greater than 50 linear feet.
- [4] Building walls:
- [a] Window and door openings shall not span vertically more than one story.
 - [b] Window openings shall correspond to interior space and shall not span across building structure such as floor structural and mechanical thickness.
 - [c] Wall materials shall be consistent horizontally (i.e., joints between different materials must be horizontal and continue around corners) except for chimneys and piers.
 - [d] Material changes shall be made within constructional logic – as where an addition (of a different material) is built onto the original building.
- [5] SCD street walls. SCD street walls: (stone, wrought iron, brick, wood or a combination of materials) establish a clear edge to the SCD street where the buildings do not define outdoor space and separate the SCD street from the private realm (parking lots, trash disposal bins, gardens, and equipment). SCD street walls shall be between 20 and 40 inches in height and are permitted along the frontage and common lot lines. All SCD street walls shall be as carefully designed as the building facade, with the finished side out (i.e., the "better" side facing the SCD street).
- [6] Windows and doors:
- [a] Window glass shall be clear, with light transmission at the ground story at least 90% and for the upper stories at least 75% (modification as necessary to meet any applicable building code requirements).
 - [b] Doors shall be of wood, glass, clad wood, steel or a combination thereof.
 - [c] Tinted glass is not allowed. Ultraviolet protection glass of the highest transparency is allowed.
- [7] Green building design standards:
- [a] Best management practices for energy efficiency and low impact development are encouraged. Use of LEED design standards as established by the US Green Building Council or similar organizations is encouraged.
- [k] **SCD streetscape standards. (TC)**
- [1] Sidewalks and curbs:
- [a] Brick, brick pavers and/or concrete (pervious/porous materials encouraged; fly ash concrete encouraged).

- [b] Vertical granite curbing.
- [2] Lighting:
 - [a] Light-emitting diodes (LEDs) encouraged.
 - [b] Full cutoff fixtures required.
 - [c] Pedestrian-scaled lighting 30 feet on center or SCD street-scaled lighting a maximum of 90 feet on center staggered along both sides of the SCD street.
- [3] SCD street trees: Salt and urban tolerant. Three-inch minimum caliper. Thirty feet on center. Tree trunk shall be a minimum of three feet from curblane or edge of shoulder.
- [4] Signage:
 - [a] Building-mounted in signable area: maximum 32 square feet.
 - [b] Building-mounted by entrances serving second floor: maximum four square feet, including all tenants.
 - [c] Projecting: minimum eight-foot clearance; maximum six square feet.
 - [d] Sandwich boards: four square feet maximum.
 - [e] No signs permitted above second story floor, including signs in windows.
 - [f] Sandwich boards permitted during hours of operation; may not impede pedestrian movement.
 - [g] Only externally lit signs are permitted with the use of light-emitting diodes (LEDs) encouraged. Externally lit signs only.
 - [h] Cutoff light fixtures required.
 - [i] Light-emitting diodes (LEDs) encouraged.
 - [j] Wood, composite, or metal materials only.
 - [k] Neon signs not permitted.
- [5] Low impact development standards: Utilize as feasible as defined in § 181-7.1(A).



- * For purposes of Chapter 181, zoning setbacks for the eight-rod-wide range ways commonly known as the "Northeast, Southwest, Northwest and Southeast Roads" shall be measured from the applicable county or state right-of-way limits rather than the eight-rod-wide range way limits, except that in no event shall new private structures be constructed within the limits of the eight-rod-wide range ways.

- * Within the Standish Corner District, the SCD Town Center street type contains portions of Route 25,
- * Route 35 and Oak Hill Road with varying associated historic right-of-way (ROW) widths. The Town right-of-way for the historic eight-rod-wide range way that is now Route 25 from Oak Hill Road to the Gorham Town line is assumed to be eight rods or 132 feet in width. The portion of Route 35 from its intersection with Route 25 towards Sebago Lake also contains an historic eight-rod-wide range way. Oak Hill Road is assumed to have been reduced to a six-rod or ninety-nine-foot-wide right-of-way as per a plan titled "OAK HILL ROAD RIGHT OF WAY SURVEY FOR THE TOWN OF STANDISH," by Roberts Libby, PLS No. 2190, of BH2M Engineers, dated April 1997. The portion of Route 25 running from Oak Hill Road towards Limington is assumed to contain a four-rod or sixty-six-foot-wide right-of-way. The property line shown in the following diagrams depicting the Town Center SCD street frontage type is the largest historic right-of-way associated with the applicable SCD street.

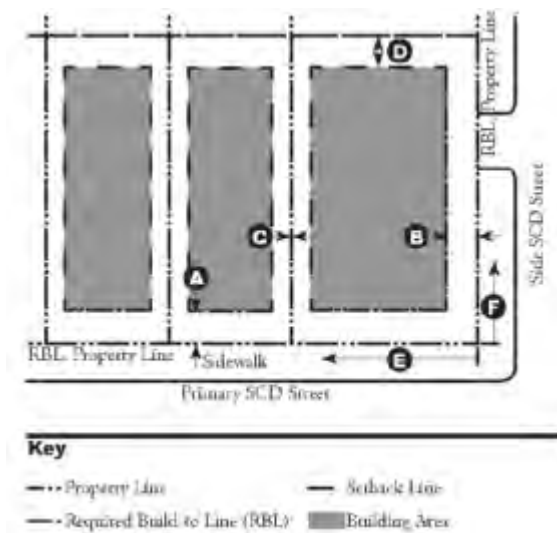


Town Center SCD Street Frontage Type Concept Perspective



Town Center SCD Street Frontage Type Concept Elevation

(2) **Town Main (TM) standards.**



(a) Lot Size (TM)

Minimum lot size of 15,000 square feet, which triggers Supplemental Planning Board (SPB) review. Lots between 15,000 and 20,000 square feet require a minimum lot size reduction permit issued by Code Enforcement Officer.

(b) Building Placement (TM)

Required build-to-line (distance from property line)

Front	0 feet minimum to 10 feet maximum	A
-------	-----------------------------------	----------

Side SCD street, corner lot	15 feet maximum	B
-----------------------------	-----------------	----------

Setback

Side	10 feet minimum	C
------	-----------------	----------

Rear	10 feet minimum	D
------	-----------------	----------

***Building Form* (relationship between building width and lot width)**

Primary SCD street RBL	50% minimum to 80% maximum	E
------------------------	----------------------------	----------

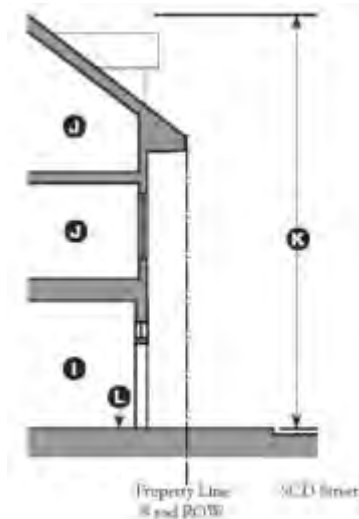
Side SCD street, corner lot built to RBL	30% minimum	F
--	-------------	----------

Notes

All floors must have a primary ground-floor entrance that faces the SCD street.

Rear-facing buildings, loading docks, overhead doors, and other service entries are prohibited on SCD street-facing facades.

Maximum building floor area not to exceed 40,000 square feet.



(c) **Mix Use (TM)**

Ground floor Residential uses are prohibited **I**

Upper floor(s) Residential and other permitted uses **J**

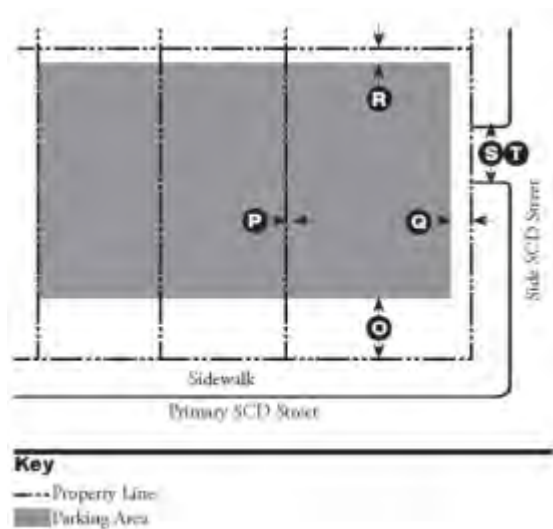
(d) **Height (TM)**

Building minimum 16 feet **K**

Building maximum 35 feet **K**

Accessory structure maximum 22 feet

Finish ground floor level 12 inches maximum above sidewalk **L**





(e) **Parking (TM)**

*Location (distance from property line)**

Front setback 20 feet minimum **O**

Side setback 0 feet minimum **P**

Side SCD street setback	5 feet minimum	
Rear setback	5 feet minimum	

*A setback of 15 feet is required when adjacent to an existing residential use.

Required Spaces

Ground floor

Uses less than 3,000 square feet (1 story) 1 space/200 square feet

Uses less than 3,000 square feet (2 story) No off-SCD street parking required

Uses more than 3,000 square feet 1 space/400 square feet


Upper floor(s)

Residential uses 1 space/unit; 0.5 space/studio

Other uses 1 space/600 square feet

Parking drive width 16 feet maximum* 

Or as required by Standish Fire Department

On corner lots, parking drive shall not be located on primary SCD street 

Notes






Shared drives are encouraged between adjacent lots to minimize curb cuts.

Parking may be provided off site within 1,300 feet, on site or as shared parking. Fifty percent of parking may be off site as approved by the Planning Board with evidence of perpetual right of owner, his/her/its successors and assigns to use off-site parking by instrument recorded at Registry of Deeds.

Fifty percent of parking may utilize compact parking space dimensions.

(f) SCD Street Space (TM)

Location (width distances)

Sidewalk	8 feet (both sides)	
Esplanade	6 feet (both sides)	
On-SCD street parking*	8 feet (both sides)	
Bike Lane	5 feet (both sides)	
Travel Lanes	11 feet (Existing)	

*On-SCD street parking is permitted with Planning Board approval.

(g) Blocks and Intersections (TM)

Block length 250 feet minimum to 450 feet maximum

Intersection TA (new SCD street)

(h) Supplemental Planning Board Review Triggers (TM)

Proposed building footprint over 5,000 square feet

Proposed or existing buildings not meeting minimum RBL SCD street frontage requirement

Proposed projects not utilizing TM required parking spaces

Proposed buildings wider than 50 feet along RBL SCD street frontage

Proposed lot less than 20,000 square feet but greater than or equal to 15,000 square feet

(i) **Town Main (TM) allowed land uses and permit requirements. (TM)**

- [1] Uses not listed are not permitted. Nonconforming uses existing as of the date of adoption of the Standish Corner District are subject to standards of Article V (Nonconforming Uses). When site plan review is triggered by a proposed change in use and/or structure, the use and/or structure shall comply with applicable SCD street frontage type standards to the greatest extent practicable as determined by the Planning Board.
- [2] Planning Board review is required for new construction, expansion, reconstruction and subdivision, but only Code Enforcement Officer approval is required for subsequent uses in existing structures that meet all of the following:
 - [a] Do not increase anticipated traffic volumes by more than 10%;
 - [b] Do not change vehicular traffic patterns;
 - [c] Do not increase parking requirements by more than 10%.
 - [d] Do not change the exterior visual appearance and continue to meet the applicable SCD street frontage type standards; and
 - [e] That are eligible for a permit by the Code Enforcement Officer per SCD street frontage type.
- [3] Permitted uses, not requiring site plan review, shall be as follows. Such uses shall require approval from the Code Enforcement Officer only:
 - [a] Accessory uses and buildings.
 - [b] Agriculture.
 - [c] Dwelling, Standish Corner District, one unit.
 - [d] Dwelling, Standish Corner District, two units.
 - [e] Dwelling, Standish Corner District, studio.
 - [f] Family apartment (grandfathered single-family home only).
 - [g] Home Occupation Level 1.
 - [h] Home Occupation Level 2.
 - [i] Home Occupation Level 3.
 - [j] Home retail sales.
 - [k] Outdoor display and sales.
 - [l] Tradesman.
 - [m] Yard or garage sale.
- [4] Permitted uses requiring site plan or subdivision review shall be as follows. Such uses shall require Planning Board approval, in accordance with Part 2 or Part 3 of this chapter:
 - [a] Adult day care.
 - [b] Art center — indoor.
 - [c] Art gallery/museum.
 - [d] Bed-and-breakfast.
 - [e] Business professional building.
 - [f] Churches (must utilize on-SCD street parking or create shared parking).
 - [g] Day-care center (grandfathered single-family home only).
 - [h] Convenience store.

- [i] Dwelling, Standish Corner District, multiple family.
- [j] Flea market.
- [k] Fueling station.
- [l] Health care facility.
- [m] Home care services (grandfathered single-family homes only).
- [n] Hotel.
- [o] Inns.
- [p] Mechanical repair garages.
- [q] Medical clinics.
- [r] Municipal uses.
- [s] Private clubs.
- [t] Public utility.
- [u] Research facility.
- [v] Residential care facility.
- [w] Retail businesses.
- [x] Restaurant.
- [y] Restaurant, drive-through.
- [z] Schools.
- [aa] Veterinary clinics.

(i) **Building form standards. (TM)**

[1] Window and door to facade ratios:

- [a] Blank lengths of wall exceeding 20 linear feet are prohibited on all RBLs.
- [b] Fenestration on the ground story facades shall comprise at least 50%, but not more than 90%, of the facade area situated between two and eight feet above the adjacent public sidewalk on which the facade fronts.
- [c] Fenestration on the upper story facades shall comprise at least 30%, but not more than 70%, of the facade area per story (measured as a percentage of the facade between floor levels).
- [d] The building facade may include jogs of no more than 18 inches to articulate entrances and break down the form of the building.

[2] Building projections:

- [a] Awnings, porches and stoops shall not project closer than five feet to a common lot line.
- [b] No part of any building, except projecting signage, overhanging eaves, balconies, bay windows and awnings, shall encroach beyond the minimum required RBL. An eight-foot clearance must be maintained between the ground and the bottom of the projecting encroachment. The top of projecting signage or awnings shall not be placed higher than the second story floor.

[3] Doors/entries:

- [a] Functioning entry door(s) shall be provided along ground story facades at intervals of not greater than 50 linear feet.

[4] Building walls:

- [a] Window and door openings shall not span vertically more than one story.
- [b] Window openings shall correspond to interior space and shall not span across building structure

such as floor structural and mechanical thickness.

- [c] Wall materials shall be consistent horizontally (i.e., joints between different materials must be horizontal and continue around corners) except for chimneys and piers.
 - [d] Material changes shall be made within constructional logic – as where an addition (of a different material) is built onto the original building.
- [5] SCD street walls: SCD street walls (stone, wrought iron, brick, wood or a combination of materials, etc.) establish a clear edge to the SCD street where the buildings do not define outdoor space and separate the SCD street from the private realm (parking lots, trash disposal bins, gardens, and equipment). SCD street walls shall be between 20 and 40 inches in height and are permitted along the frontage and common lot lines. All SCD street walls shall be as carefully designed as the building facade, with the finished side out (i.e., the "better" side facing the SCD street).
- [6] Windows and doors:
- [a] Window glass shall be clear, with light transmission at the ground story at least 90% and for the upper stories at least 75% (modification as necessary to meet any applicable building code requirements).
 - [b] Doors shall be of wood, glass, clad wood, steel or a combination thereof.
 - [c] Tinted glass is not allowed. Ultraviolet protection glass of the highest transparency is allowed.
- [7] Green building design standards:
- [a] Best management practices for energy efficiency and low impact development are encouraged. Use of LEED design standards as established by the US Green Building Council or similar organizations is encouraged.

(k) **SCD streetscape standards. (TM)**

- [1] Sidewalks and curbs.
- [a] Asphalt, brick, brick pavers and/or concrete (pervious/porous materials encouraged; fly ash concrete encouraged).
 - [b] Asphalt or granite. (Curbing is not required where there is no on-SCD street parking or where low impact development stormwater standards are implemented.) A two-foot clear zone shall be maintained between the curb and/or SCD street shoulder and any SCD streetscape amenities.
- [2] Lighting:
- [a] Light-emitting diodes (LEDs) encouraged.
 - [b] Full cutoff fixtures required.
 - [c] Pedestrian-scaled lighting 30 feet on center or SCD street-scaled lighting 90 inches on center staggered along both sides of the SCD street.
- [3] SCD street trees: Salt and urban tolerant. Three-inch minimum caliper. Thirty feet on center. Tree trunk shall be a minimum of three feet from curblane or edge of shoulder.
- [4] Signage:
- [a] Building-mounted in signable area: maximum 32 square feet.
 - [b] Post-mounted: maximum 32 square feet. Bottom of sign no lower than four feet and top of sign no higher than eight feet.
 - [c] Building-mounted by entrances serving second floor: maximum four square feet, including all tenants.
 - [d] Projecting: minimum eight-foot clearance; maximum six square feet.
 - [e] Sandwich boards: four square feet maximum.
 - [f] No signs permitted above second story floor, including signs in windows.

-
- Approximately 66' from Center Line to RBL
- Approximately 66' from Center Line to RBL
- 66' MDOT Right of Way
- 132' (Town & road usage road)
- Sidewalk (8')
- Expansible (6')
- On-street Street Parking (8')
- Bike Lane (5')
- SCD Street (11')
- SCD Street (11')
- Bike Lane (5')
- On-street Street Parking (8')
- Expansible (6')
- Sidewalk (8')
- Key
- Property Line

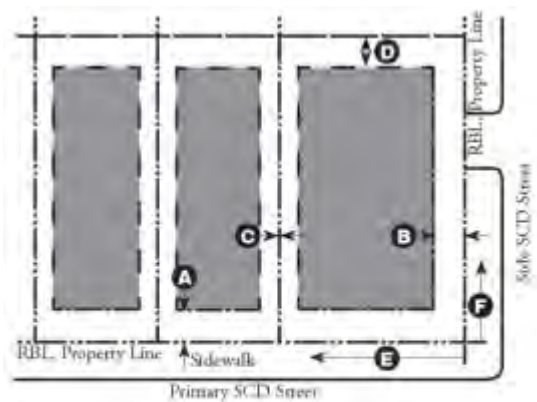


Town Main SCD Street Frontage Type Concept Perspective



Town Main SCD Street Frontage Type Concept SCD Street Elevation

(3) Town Avenue (TA) standards.



Key

--- 66 ft ROW Property Line	— Setback Line
--- Required Build-to Line (RBL)	■ Building Area

(a) Lot Size (TA)

Minimum lot size of 20,000 square feet

(b) Building Placement (TA)

Required build-to-line (distance from property line)

Front

15 feet from 4-rod ROW and 31.5 feet from 8-rod ROW



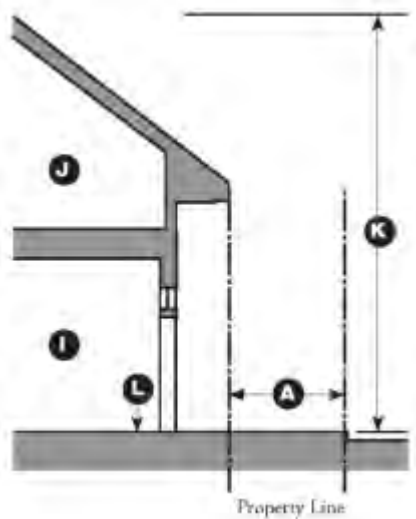
Side SCD street, corner lot	10 feet	B
Setback		
Side	10 feet minimum	C
Rear	10 feet minimum	D
Building Form (relationship between building width and lot width)		
Primary SCD street built to RBL	50% minimum to 80% maximum	E
Side SCD street, corner lot RBL	30% minimum	F

Notes

All floors must have a primary ground-floor entrance that faces the SCD street.

Rear-facing buildings, loading docks, overhead doors, and other service entries are prohibited on SCD street-facing facades.

Maximum building floor area not to exceed 30,000 square feet.



(c) **Mix Use (TA)**

Ground floor Residential uses are prohibited. **I**

Upper floor(s) Residential and other permitted uses **J**

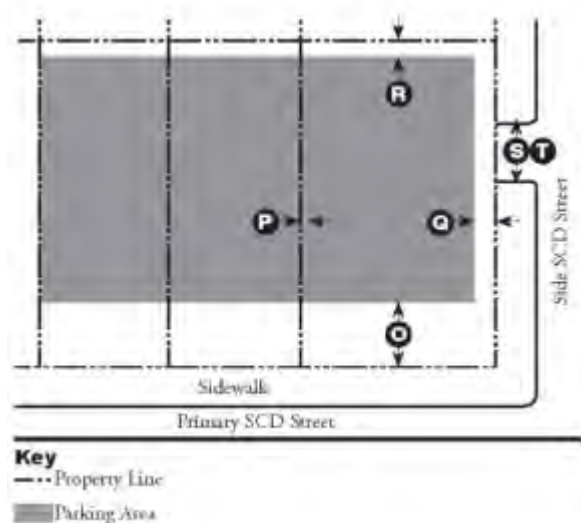
(d) **Height (TA)**

Building minimum 16 feet **K**

Building maximum 35 feet **K**

Ancillary building maximum 22 feet

Finish ground floor level 12 inches maximum above sidewalk **L**



(e) **Parking (TA)**

Location (distance from property line)*

Front setback	20 feet minimum	O
Side setback	0 feet minimum	P
Side SCD street setback	5 feet minimum	Q
Rear setback	5 feet minimum	R

Required Spaces

Ground floor

Uses less than 3,000 square feet (1 story)	1 space/200 square feet
Uses less than 3,000 square feet (2 story)	No off-SCD street parking required
Uses greater than 3,000 square feet (1 story)	1 space/400 square feet

Upper floor(s)

Residential uses	1 space/unit; 0.5 space/studio
Other uses	1 space/600 square feet
Parking drive width	16 feet maximum

Or as required by Standish Fire Department

On corner lots, parking drive shall not be located on primary SCD street.

T

Notes

Shared drives are encouraged between adjacent lots to minimize curb cuts.





Parking may be provided off site within 1,300 feet, on-site or as shared parking. Fifty percent of parking may be site as approved by the Planning Board with evidence of perpetual right of owner, his/her/its successors and assignees to use off-site parking by instrument recorded at Registry of Deeds.

Fifty percent of off-SCD street parking may utilize compact parking space dimensions.

(f) **SCD Street Space (TA)**

Location (width distances)

Sidewalk	6 feet (both sides)	U
----------	---------------------	----------

Amenity zone	5 feet (both sides)	
On-SCD street parking	8 feet (both sides)	
Bike lane	3 feet (both sides)	
Travel lanes	11 feet (two lanes)	

(g) **Blocks and Intersections (TA)**

Block length 250 feet minimum to 450 feet maximum (new SCD streets)

Intersection TA, TR (new SCD streets)

(h) **Supplemental Planning Board Review Triggers (TA)**

Proposed building footprint over 5,000 square feet

Proposed or existing buildings not meeting minimum RBL building placement

Proposed projects not utilizing TA required parking spaces

Proposed buildings more than 50 feet wide along RBL

(i) **Town Avenue (TA) allowed land uses and permit requirements (TA)**

- [1] Uses not listed are not permitted. Legally nonconforming uses existing as of the date of adoption of the Standish Corner District are subject to standards of Article V (Nonconforming Uses). When site plan review is triggered by a proposed change in use and/or structure, the use and/or structure shall comply with applicable SCD street frontage type standards to the greatest extent practicable as determined by the Planning Board.
- [2] Planning Board review is required for new construction, expansion, reconstruction and subdivision, but only Code Enforcement Officer approval is required for subsequent uses in existing structures that meet all of the following:
 - [a] Do not increase anticipated traffic volumes by more than 10%;
 - [b] Do not change vehicular traffic patterns;
 - [c] Do not increase parking requirements by more than 10%;
 - [d] Do not change the exterior visual appearance of structures and continue to meet the applicable SCD street frontage type standards; and
 - [e] That are eligible for a permit by the Code Enforcement Officer per SCD street frontage type.
- [3] Permitted uses, not requiring site plan review, shall be as follows. Such uses shall require approval from the Code Enforcement Officer only:
 - [a] Accessory uses and buildings.
 - [b] Agriculture.
 - [c] Dwelling, Standish Corner District, one unit.
 - [d] Dwelling, Standish Corner District, two units.
 - [e] Dwelling, Standish Corner District, studio.
 - [f] Family apartment (only with grandfathered single-family homes).
 - [g] Home Occupation Level 1.
 - [h] Home Occupation Level 2.
 - [i] Home Occupation Level 3.
 - [j] Home retail sales.
 - [k] Outdoor display and sales.

- [l] Yard or garage sale.
- [4] Permitted uses requiring site plan or subdivision review shall be as follows. Such uses shall require Planning Board approval, in accordance with Part 2 or Part 3 of this chapter:
 - [a] Art center – indoor.
 - [b] Art gallery/museum.
 - [c] Business professional building.
 - [d] Churches (must utilize on-SCD street parking or create shared parking).
 - [e] Convenience store.
 - [f] Dwelling, Standish Corner District, multiple family.
 - [g] Dwelling, multiple family.
 - [h] Elderly housing.
 - [i] Flea market.
 - [j] Hospital (new Town Avenue SCD street frontage type only).
 - [k] Inns.
 - [l] Medical clinics.
 - [m] Municipal uses.
 - [n] Public utility.
 - [o] Residential care.
 - [p] Restaurant (includes outdoor dining).
 - [q] Restaurant, drive-through.
 - [r] Retail businesses.
 - [s] Schools.
 - [t] Village Housing.

(i) **Building form standards (TA)**

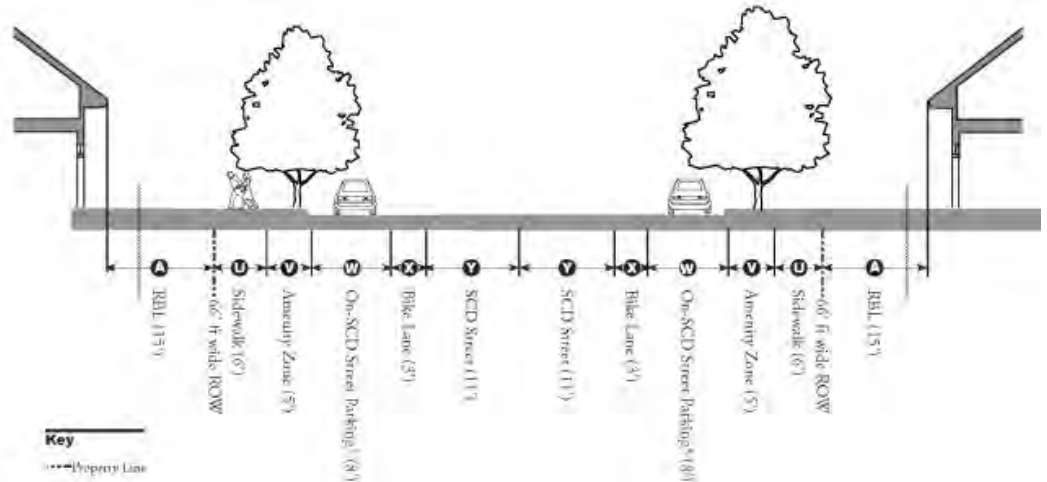
- [1] Window and door to facade ratios:
 - [a] Blank lengths of wall exceeding 20 linear feet are prohibited on all RBLs.
 - [b] Fenestration on the ground story facades shall comprise at least fifty percent (50%), but not more than ninety percent (90%) of the façade area situated between two (2) and eight (8) feet above the adjacent public sidewalk which the façade fronts. The fenestration requirements for a double frontage lot on a newly created street may be further reduced by an additional 15% on the ground floor only.
 - [c] Fenestration on the upper story facades shall comprise at least thirty percent (30%), but no more than seventy percent (70%) of the façade area per story (measured as a percentage of the façade between floor levels).
 - [d] The building facade may include jogs of no more than 18 inches to articulate entrances and break down the form of the building.
- [2] Building projections:
 - [a] Awnings, porches and stoops shall not project closer than five feet to a common lot line.
 - [b] No part of any building, except projecting signage, overhanging eaves, balconies, bay windows and awnings, shall encroach beyond the minimum required RBL. An eight-foot clearance must be maintained between the ground and the bottom of the projecting encroachment. The top of projecting signage or awnings shall not be placed higher than the second story floor.

- [3] Doors/entries:
 - [a] Functioning entry door(s) shall be provided along ground story facades at intervals of not greater than 50 linear feet.
- [4] Building walls:
 - [a] Window and door openings shall not span vertically more than one story.
 - [b] Window openings shall correspond to interior space and shall not span across building structure such as floor structural and mechanical thickness.
 - [c] Wall materials shall be consistent horizontally (i.e., joints between different materials must be horizontal and continue around corners) except for chimneys and piers.
 - [d] Material changes shall be made within constructional logic – as where an addition (of a different material) is built onto the original building.
- [5] SCD street walls: SCD street walls (stone, wrought iron, brick, wood or a combination of materials, etc.) establish a clear edge to the SCD street where the buildings do not define outdoor space and separate the SCD street from the private realm (parking lots, trash disposal bins, gardens, and equipment). SCD street walls shall be between 20 and 40 inches in height and are permitted along the frontage and common lot lines. All SCD street walls shall be as carefully designed as the building facade, with the finished side out (i.e., the "better" side facing the SCD street).
- [6] Windows and doors:
 - [a] Window glass shall be clear, with light transmission at the ground story at least 90% and for the upper stories at least 75% (modification as necessary to meet any applicable building code requirements).
 - [b] Tinted glass is not allowed. Ultraviolet protection glass of the highest transparency is allowed.
- [7] Green building design standards:
 - [a] Best management practices for energy efficiency and low impact development are encouraged. Use of LEED design standards as established by the US Green Building Council or similar organizations is encouraged.

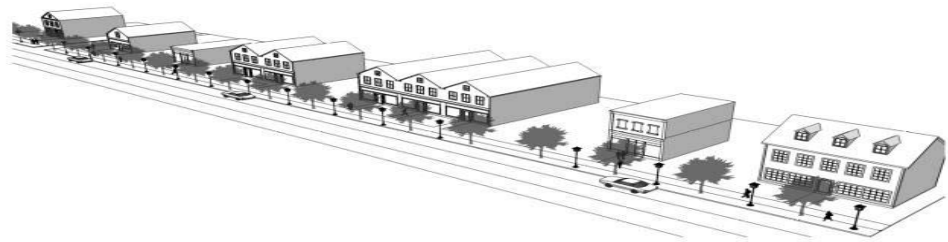
(k) **SCD streetscape standards (TA)**

- [1] Sidewalks and curbs:
 - [a] Brick, brick pavers and/or concrete (pervious/porous materials encouraged; fly ash concrete encouraged).
 - [b] Vertical granite curbing. A two-foot clear zone shall be maintained between the curb and/or SCD street shoulder and any SCD streetscape amenities.
- [2] Lighting:
 - [a] Light-emitting diodes (LEDs) encouraged.
 - [b] Full cutoff fixtures required.
 - [c] Pedestrian-scaled lighting 30 feet on center or SCD street-scaled lighting a maximum of 90 feet on center staggered along both sides of the SCD street.
- [3] SCD street trees: Salt and urban tolerant three-inch minimum caliper. Thirty feet on center. Tree trunk shall be a minimum of two feet from curblane or edge of shoulder.
- [4] Signage:
 - [a] Building-mounted in signable area: maximum 32 square feet.
 - [b] Building-mounted by entrances serving second floor: maximum four square feet, including all tenants.
 - [c] Projecting: minimum eight-foot clearance; maximum six square feet.
 - [d] Sandwich board: four square feet maximum.

- [e] No signs permitted above second story floor, including signs in windows.
 - [f] Sandwich boards permitted during hours of operation only; shall not impede pedestrian movement.
 - [g] Only externally lit signs are permitted with the use of light-emitting diodes (LEDs) encouraged. Externally lit signs only.
 - [h] Cutoff light fixtures required.
 - [i] Light-emitting diodes (LEDs) encouraged.
 - [j] Wood, composite, or metal materials only.
 - [k] Neon signs not permitted.
- [5] Low impact development standards: Utilize as feasible as defined in § 181-7.1 (A).



- * Where on-SCD street parking is located on an existing six-rod arterial a three-foot bike lane is required between travel lanes and on-SCD street parking.
- ** For purposes of Chapter 181, zoning setbacks for the eight-rod-wide range ways commonly known as the "Northeast, Southwest, Northwest and Southeast Roads" shall be measured from the applicable county or state right-of-way limits rather than the eight-rod-wide range way limits, except that in no event shall new private structures be constructed within the limits of the eight-rod-wide range ways.
- ** Within the Standish Corner District, the Town Avenue SCD street type contains portions of Route 35 with associated historic right-of-way (ROW) widths. The Town right-of-way for the historic eight-rod-wide range way that is now Route 35 is assumed to be eight rods or 132 feet in width. The property line shown in the following diagrams depicting the Town Avenue SCD street frontage type is the largest historic right-of-way associated with the applicable SCD street. Note newly created Town Avenue SCD streets shall have a sixty-six-foot ROW with an additional drainage and snow storage easement of 10 feet in width on each side of the SCD street.

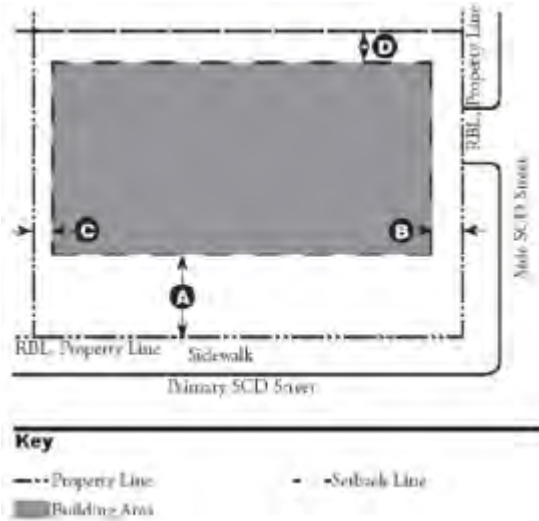


Town Avenue SCD Street Frontage Type Concept Perspective



Town Avenue SCD Street Frontage Type Concept SCD Street Elevation

K.(4) Town Gateway (TG) standards.



(a) Lot Size (TG)

Minimum lot size of 20,000 square feet

(b) Building Placement (TG)

Setback

Front	50 feet minimum	A
Side SCD street, corner lot	15 feet	B
Side	15 feet minimum	C
Rear	10 feet minimum	D

(c) Lot Dimension and Curb Cuts (TG)

Lot width 200 feet minimum

Curb cut* 1 per 200 feet

*On corner lots, curb cuts shall not be located on primary SCD street.

Shared drives are encouraged between adjacent lots to minimize curb cuts.

Notes

All floors must have a primary ground-floor entrance that faces the SCD street. Buildings on corner lots must have articulated entrances along primary and side SCD streets.

Rear-facing buildings, loading docks, overhead doors, and other service entries are prohibited on the primary SCD street-facing facades.

Maximum building floor area not to exceed 40,000 square feet.



Ancillary building maximum 22 feet



Rear setback 15 feet

Or as required by Standish Fire Department

On corner lots, parking drive shall not be located on primary SCD street.

K

Shared parking is encouraged with connections between lots.

(f) **SCD Street Space (TG)**

Location (width distances)

Sidewalk	6 feet (one side)	L
Esplanade	14 feet (one side)	M
Paved shoulder	5 feet (both sides)	N
Travel lanes	11 feet (Existing)	O

(g) **Intersections (TG)**

Intersection TA, TR (new SCD streets)

(h) **Supplemental Planning Board Review Triggers (TG)**

Proposed building footprint over 5,000 square feet

(i) **Town Gateway (TG) Zone allowed land uses and permit requirements (TG)**

- [1] Uses not listed are not permitted. Nonconforming uses existing as of the date of adoption of the Standish Corner District are subject to standards of Article V (Nonconforming Uses). When site plan review is triggered by a proposed change in use and/or structure, the use and/or structure shall comply with applicable SCD street frontage type standards to the greatest extent practicable as determined by the Planning Board.
- [2] Planning Board review is required for new construction, expansion, reconstruction and subdivision, but only Code Enforcement Officer approval is required for subsequent uses in existing structures that meet all of the following:
 - [a] Do not increase anticipated traffic volumes by more than 10%;
 - [b] Do not change vehicular traffic patterns;
 - [c] Do not increase parking requirements by more than 10%;
 - [d] Do not change the exterior visual appearance of structures and continue to meet the applicable SCD street frontage type standards; and
 - [e] That are eligible for a permit by the Code Enforcement Officer per SCD street frontage type.
- [3] Permitted uses, not requiring site plan review, shall be as follows. Such uses shall require approval from the Code Enforcement Officer only:
 - [a] Accessory apartment.
 - [b] Accessory uses and buildings.
 - [c] Agriculture.
 - [d] Dwelling, one unit.
 - [e] Dwelling, two units.
 - [f] Dwelling, studio.
 - [g] Family apartment.
 - [h] Home Occupation Level 1.
 - [i] Home Occupation Level 2.
 - [j] Home Occupation Level 3.
 - [k] Home retail sales.

- [l] Outdoor display and sales.
 - [m] Single-family home.
 - [n] Tradesman.
 - [o] Yard or garage sale.
- [4] Permitted uses requiring site plan or subdivision review shall be as follows. Such uses shall require Planning Board approval, in accordance with § 181-7.1 and Part 2 and Part 3 of this chapter:
- [a] Adult day care.
 - [b] Art gallery/museum.
 - [c] Auto sales.
 - [d] Business professional building.
 - [e] Churches (must utilize on-SCD street or create shared parking).
 - [f] Cluster development.
 - [g] Convenience store (with fueling pumps to side only).
 - [h] Collision repair garage.
 - [i] Day-care center.
 - [j] Day-care home.
 - [k] Dwelling, multiple (may be located on first story and above).
 - [l] Elderly housing.
 - [m] Flea market.
 - [n] Fueling station.
 - [o] Greenhouses.
 - [p] Health care facility.
 - [q] Heavy-duty repair garage.
 - [r] Hotel.
 - [s] Home care services.
 - [t] Mechanical repair garage.
 - [u] Motel.
 - [v] Municipal uses.
 - [w] Outdoor recreation.
 - [x] Private clubs.
 - [y] Public utility.
 - [z] Research facility.
 - [aa] Retail businesses (drive-through located behind the building).
 - [bb] Residential care facility.
 - [cc] Restaurant.
 - [dd] Restaurant, drive-through (side or behind the building).
 - [ee] Social events center.
 - [ff] Storage facilities.

[gg] Veterinary clinics.

[hh] Village Housing.

[ii] Warehouse.

(j) **Building form standards (TG)**

Not applicable on Town Gateway SCD streets.

(k) **SCD streetscape standards (TG)**

These standards are applicable when varying from existing standards for site plan review.

[1] Sidewalks and curbs:

[a] Asphalt sidewalk along Route 25 and Route 35 — separated from road by esplanade.

[b] Curbing not required.

[2] Site lighting:

[a] Light-emitting diodes (LEDs) encouraged.

[b] Full cutoff fixtures required.

[3] Buffering:

[a] All existing trees three-inch caliper and larger shall be preserved in setbacks. In the front setback deciduous trees may be limbed to eight feet.

[b] Undergrowth may be removed and replaced with shade-tolerant understory plants in natural groupings of six every 30 feet.

[c] If existing buffering does not exist, a landscape buffer natural in appearance shall be installed every 100 feet, including:

[a] Two-inch caliper trees in two groups of three.

[b] Eight-foot-tall evergreens shall be planted in two groups of three.

[c] Two-foot-tall shrubs in six groups of three.

[d] All landscaping shall be maintained and replaced if necessary to maintain the required buffering.

[4] Signage:

[a] Building-mounted in signable area: maximum 100 square feet.

[b] Post-mounted: maximum 32 square feet; bottom of sign no lower than four feet and no higher than eight feet.

[c] Building-mounted by entrances serving second floor: maximum four square feet, including all tenants.

[d] Projecting: minimum eight-foot clearance.

[e] No signs permitted above second story floor, including signs in windows.

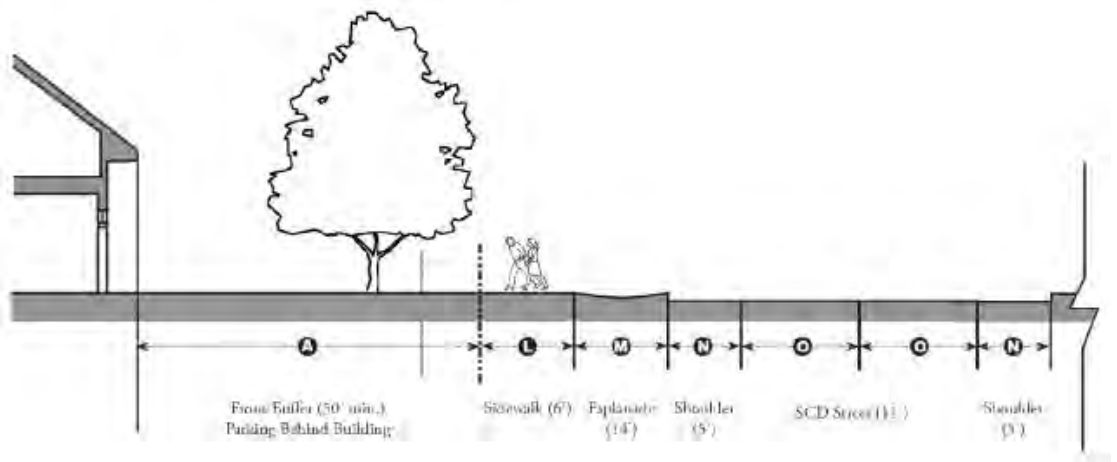
[f] Externally lit signs only; cutoff light fixtures required.

[g] Light-emitting diodes (LEDs) encouraged.

[h] Wood, composite, or metal materials only.

[i] Neon signs not permitted.

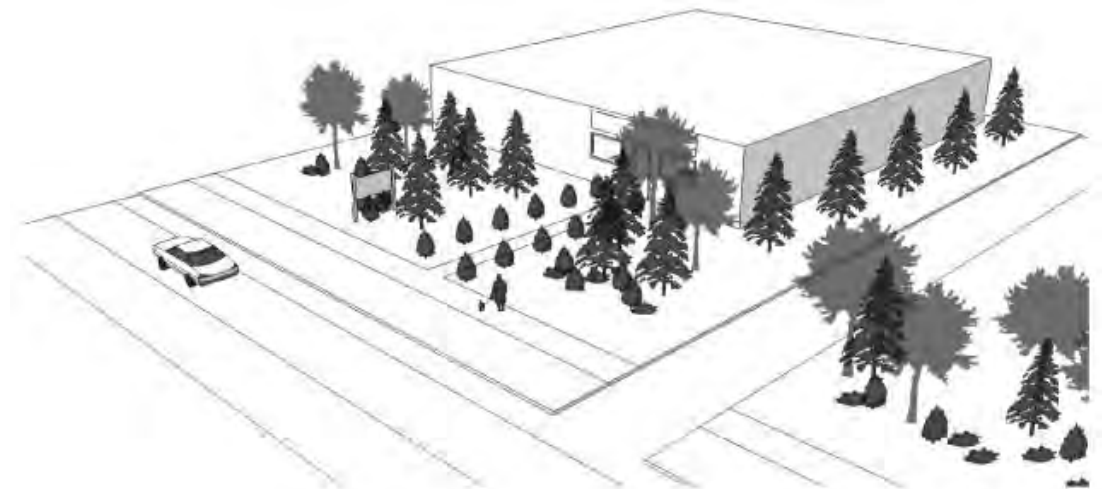
[5] Low impact development standards: Utilize as feasible as defined in § 181-7.1(A).



Key

---MDOT Right-of-Way Line

10 ft snow storage and drainage easement

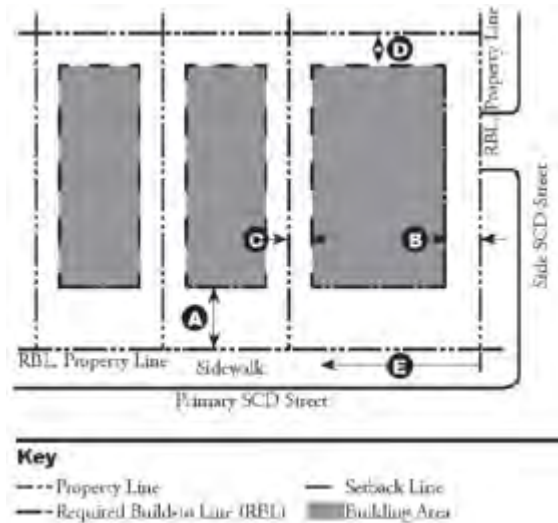


Town Gateway SCD Street Frontage Type Concept Perspective



Town Gateway SCD Street Frontage Type Concept Elevation

E.(5) Town Residential (TR) standards.



(a) Lot Size (TR)

Minimum lot size of 30,000 square feet

(b) Building Placement (TR)

Setbacks

Front* 15 feet minimum to 25 feet maximum

Side SCD street, corner lot 15 feet minimum

Side 15 feet minimum

Rear 10 feet minimum

*Porches may be placed within front setback.

Building Form

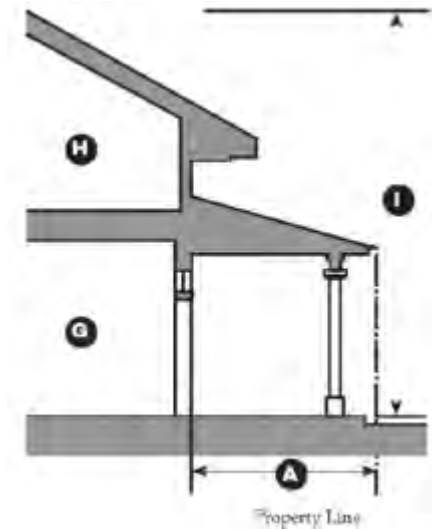
Lot width 80 feet minimum to 150 feet maximum

There are no minimum or maximum lot widths for Village Housing or elderly housing, but the pattern of development shall meet the building placement, parking, SCD street and blocks and intersection standards for the Town Residential SCD street frontage type.

Notes

Primary entrances must face primary SCD street.

Attached or detached garages shall be no less than five feet setback from front plane of the house.



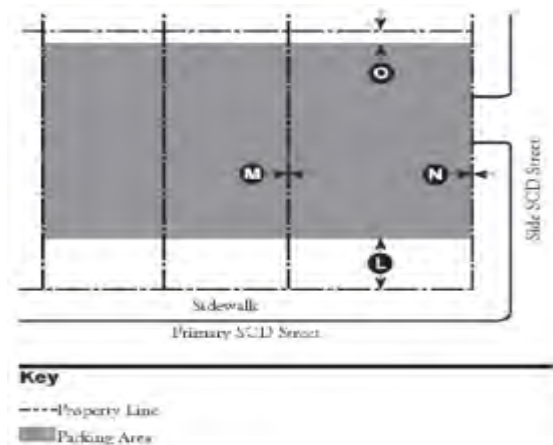
(c) **Mix Use (TR)**

Ground floor Residential or other permitted uses **G**
 Upper floor(s) Residential or other permitted uses **H**

(d) **Height (TR)**

Building minimum 20 feet (typical Cape Cod ridge)
 Building maximum 35 feet
 Ancillary building maximum 22 feet

I



(e) **Parking (excluding driveways) (TR)**

Location (distance from property line)

Front setback 40 feet minimum
 Side setback 15 feet minimum
 Side SCD street setback 25 feet minimum
 Rear setback 15 feet minimum

L
M
N
O

Required Spaces (TR)

Residential uses 1 space/unit; 0.5 space/studio

Nonresidential uses* 0.5 space per employee not residing at location

*No off-SCD street parking required

Notes

Parking drive width

12 feet maximum

Or as required by Fire Department

Parking drive shall be located on primary SCD street.

Side SCD street setback parking shall be set back 10 feet from plane of the building.

(f) **SCD Street Space (TR)**

Location (width distances)

Sidewalk 6 feet (both sides)



Esplanade 6 feet (one side)



Rain garden 6 feet (one side)

On-SCD street parking Allowed on new TR only, on one side

Roadway 22 feet



(g) **Blocks and Intersections (TR)**

Block length 400 feet minimum to 1,200 feet maximum

Intersection* TR, TA (new SCD streets)

*New SCD streets off existing Town Residential SCD streets can only be Town Residential SCD streets.

(h) **Town Residential (TR) allowed land uses and permit requirements (TR)**

[1] Uses not listed are not permitted. Nonconforming uses existing as of the date of adoption of the Standish Corner District are subject to standards of Article V (Nonconforming Uses). When site plan review is triggered by a proposed change in use and/or structure, the use and/or structure shall comply with applicable SCD street frontage type standards to the greatest extent practicable as determined by the Planning Board.

[2] Planning Board review is required for new construction, expansion, reconstruction and subdivision, but only Code Enforcement Officer approval is required for subsequent uses in existing structures that meet all of the following:

[a] Do not increase anticipated traffic volumes by more than 10%;

[b] Do not change vehicular traffic patterns;

[c] Do not increase parking requirements by more than 10%;

[d] Do not change the exterior visual appearance and continue to meet the applicable SCD street frontage type standards; and

[e] That are eligible for a permit by the Code Enforcement Officer per SCD street frontage type.

[3] Permitted uses, not requiring site plan review, shall be as follows. Such uses shall require approval from the Code Enforcement Officer only:

[a] Accessory apartment.

[b] Accessory uses and buildings.

[c] Agriculture.

[d] Dwelling, one unit.

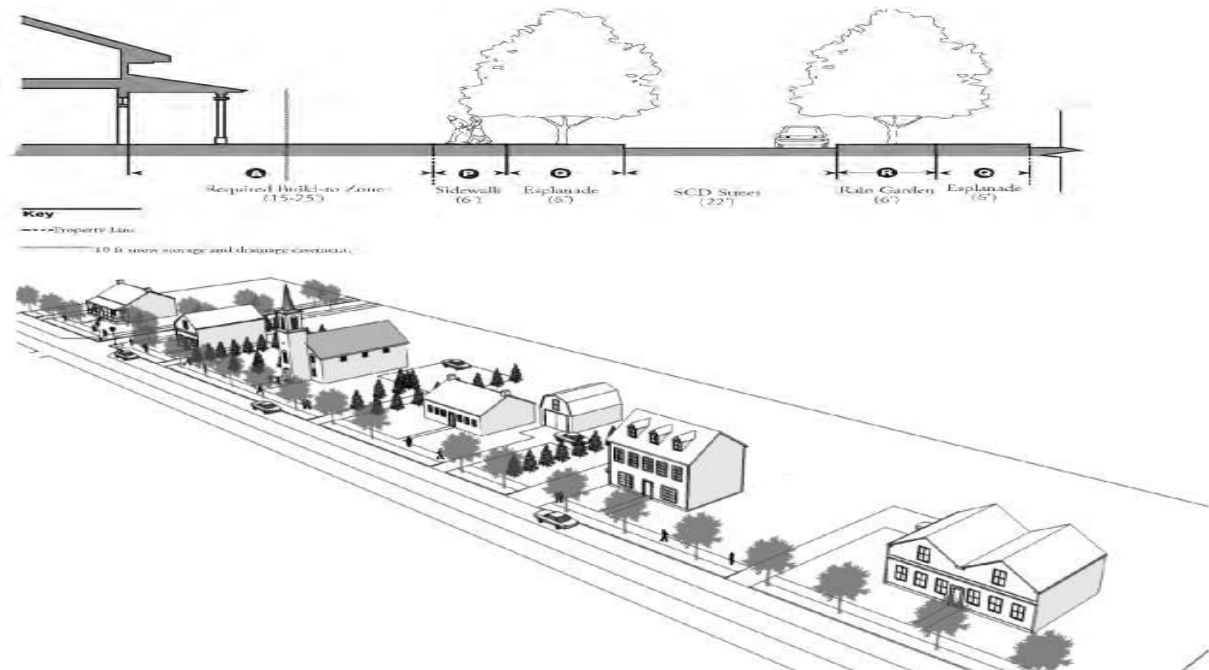
[e] Dwelling, two units.

[f] Dwelling, studio.

- [g] Family apartment.
 - [h] Home Occupation Level 1.
 - [i] Home Occupation Level 2.
 - [j] Home Occupation Level 3.
 - [k] Home retail sales.
 - [l] Single-family home.
 - [m] Tradesman.
 - [n] Yard or garage sale.
- [4] Permitted uses requiring site plan or subdivision review shall be as follows. Such uses shall require Planning Board approval, in accordance with Part 2 or Part 3 of this chapter:
- [a] Day-care home.
 - [b] Cluster development.
 - [c] Community living facility (four or fewer persons).
 - [d] Bed-and-breakfast (limit of four guest rooms).
 - [e] Convenience store (limited to 1,000 square feet and shall be located at an intersection).
 - [f] Church (on-SCD street parking only except for accessible spaces and loading and shall be located at an intersection).
 - [g] Dwelling, multiple-family (may be located on first story and above).
 - [h] Elderly housing.
 - [i] Public utility.
 - [j] School.
 - [k] Town services.
 - [l] Village Housing.
- (i) **SCD streetscape, building and buffering standards (TR)**
- [1] Sidewalks and curbs:
 - [a] Asphalt, brick, brick paver or concrete sidewalks (pervious/porous material encouraged; fly ash concrete encouraged).
 - [b] Asphalt or sloped granite as designed for low impact development or for defining on-SCD street parking; granite curbing at radius of intersection required.
 - [2] Lighting:
 - [a] Light-emitting diodes (LEDs) encouraged.
 - [b] Full cutoff fixtures required.
 - [c] SCD street-scaled lighting required at intersections.
 - [d] Pedestrian (optional) 30 feet to 50 feet on center.
 - [3] SCD street trees: Salt and urban tolerant. Three-inch minimum caliper, 30 feet to 50 feet on center. Plant in esplanade. Three feet clear of curblane or edge of shoulder.
 - [4] Buffering:
 - [a] On-site parking for nonresidential uses shall be buffered with plantings and fencing to minimize visual impacts and glare from headlights.
 - [b] Waste storage for convenience stores must be completely screened from view. Waste storage for

all other uses shall not be visible from the SCD street and buffered from abutters.

- [5] Signage (Property cannot have both post-mounted and projecting signage.):
 - [a] Single-post-mounted: maximum six square feet; bottom of sign no lower than six feet and top no higher than eight feet.
 - [b] Building-mounted by entrances serving second floor: maximum four square feet, including all tenants.
 - [c] Projecting: maximum six square feet.
 - [d] No signs permitted above second story floor, including signs in windows.
 - [e] No lit signs allowed.
 - [f] Wood, composite, or metal materials only.
- [6] Low impact development standards: Utilize as feasible as defined in § 181-7.1(A).
- [7] Green building design standards: Best management practices for energy efficiency and low impact development are encouraged. Use of LEED design standards as established by the US Green Building Council or similar organizations is encouraged.



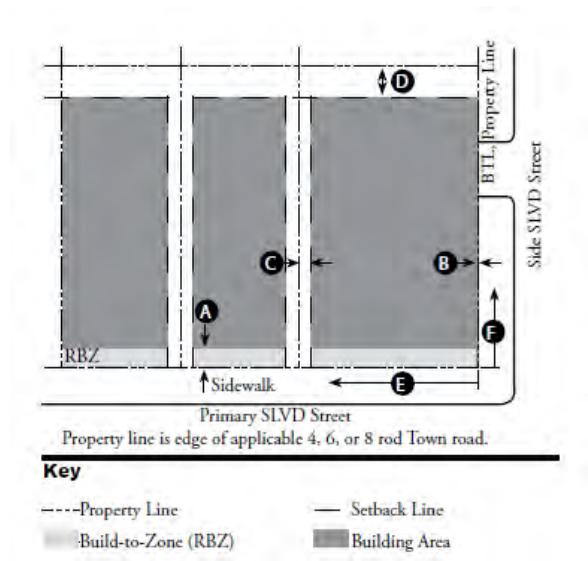
Town Residential SCD Street Frontage Type Concept Perspective



Town Residential SCD Street Frontage Type Concept Elevation

D. Sebago Lake Village District Standards

(1) SLV Core (SLVC) standards.



(a) Lot Size (SLVC)

Minimum lot size for single-family homes: 15,000 square feet.

Minimum lot size for all other uses: 7,000 square feet of lot area per 100 gallons per day of design sewage flow for the use of the lot based on the design sewage flows in the Maine State Plumbing Code. Uses other than single-family homes are subject to Supplemental Planning Board (SPB) review. Lots less than 20,000 square feet require a minimum lot size reduction permit issued by Code Enforcement Officer.

(b) Building Placement (SLVC)

Required build-to-zone (distance from property line)

Front from edge of 4-, 6- or 8-rod road 0 feet minimum to 10 feet maximum **A**

Side SLVD street, corner lot 0 feet minimum to 10 feet maximum **B**

* For redevelopment properties where adjacent buildings are set back more than 10 feet from the public right-of-way, the front build-to-zone maximum may be set to align with the front face of immediately adjacent properties but not more than 20 feet.

Setback

Side 10 feet minimum **C**

Rear Adjacent to residential or mixed-use 10 feet minimum **D**

Adjacent to any other use 5 feet minimum **D**

Building Form (relationship between building width and lot width)

Primary SLVD street RBZ 60% minimum to 80% maximum **E**

Side SLVD street, corner lot RBZ No minimum or maximum **F**

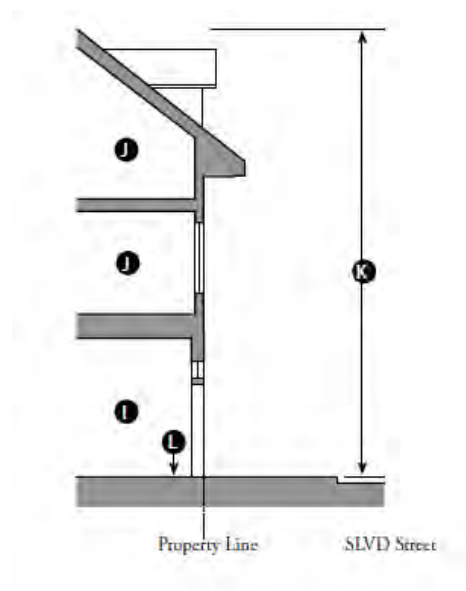
Notes

Rear-facing buildings are prohibited.

Loading docks, overhead doors, and other service entries on facades facing the primary SLVD street are prohibited. Existing service facilities that do not meet this requirement may continue to be used but must be brought into conformance if the use of the building changes or the building is substantially renovated.

All floors must have a primary ground-floor entrance that faces the primary SLVD street.

Maximum building footprint of 5,000 square feet.

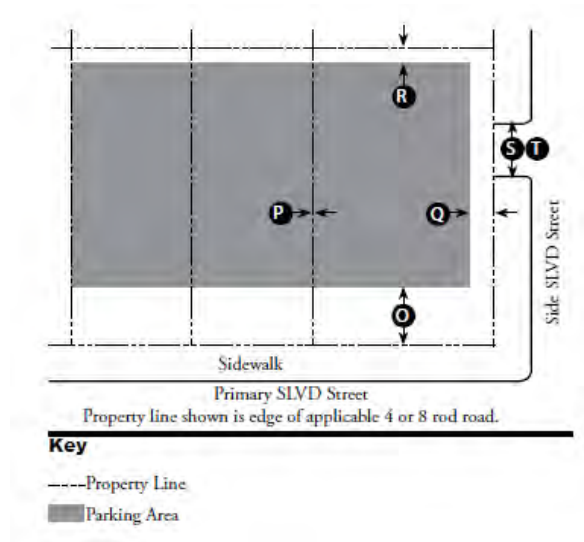


(c) Mix Use (SLVC)

<u>Ground floor</u>	<u>Residential and other permitted uses provided that a residential use may not occupy the portion of the building facing the primary SLVD street.</u>	<u>I</u>
<u>Upper floor(s)</u>	<u>Residential and other permitted uses</u>	<u>J</u>

(d) Height (SLVC)

<u>Building minimum</u>	<u>20 feet or two stories</u>	<u>K</u>
<u>Building maximum</u>	<u>35 feet</u>	<u>K</u>
<u>Ancillary building maximum</u>	<u>25 feet</u>	



(e) **Parking (SLVC)**

Location (distance from property line)*

<u>Front setback</u>	<u>A minimum of 10 feet more than the front setback of the principal building</u>	<u>O</u>
<u>Side setback</u>	<u>0 feet minimum</u>	<u>P</u>
<u>Side SLVD street setback</u>	<u>10 feet minimum</u>	<u>Q</u>
<u>Rear setback</u>	<u>5 feet minimum</u>	<u>R</u>

* A setback of 15 feet is required when adjacent to an existing residential use.

Required Spaces

Ground floor

<u>Uses less than 3,000 square feet</u>	<u>1 space/200 square feet</u>
<u>Uses greater than 3,000 square feet</u>	<u>1 space/400 square feet</u>
<u>Residential uses</u>	<u>1 space/unit; 0.5 space/studio</u>

Upper floor(s)

<u>Residential uses</u>	<u>1 space/unit; 0.5 space/studio</u>
<u>Other uses</u>	<u>1 space/600 square feet</u>

Parking drive width 16 feet minimum

S

Or as required by Standish Fire Department

On corner lots, parking drive shall not be located on the primary SLVD street where feasible.

T

Notes

Shared drives are encouraged between adjacent lots to minimize curb cuts.

Fifty percent of the parking requirement may be provided off site within 1,000 feet of the site, or as shared

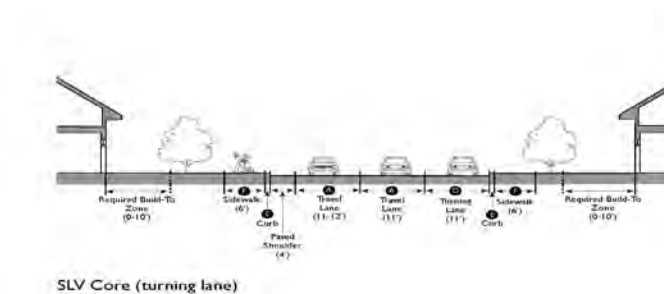
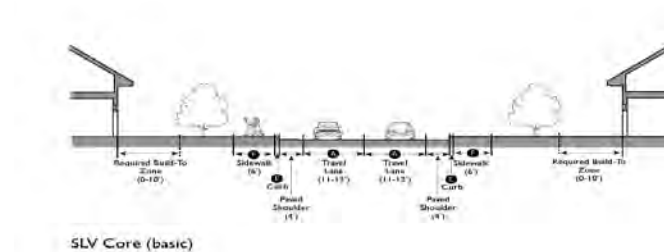
parking. Off-site parking may be provided in public parking lots, on-street parking, or in private parking lots. Off-site parking in private lots must be approved by the Planning Board with evidence of perpetual right of owner, his/her/its successors and assigns to use off-site parking by instrument recorded at Registry of Deeds.

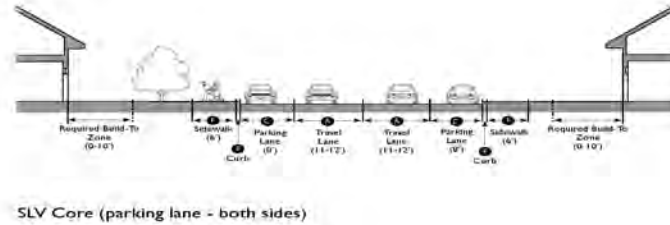
Fifty percent of parking may utilize compact parking space dimensions.

(f) **SLVD Street Space (SLVC)**

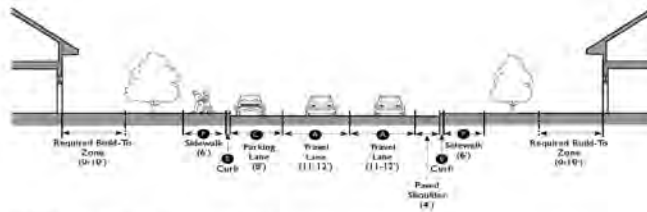
Location (width distances)

<u>Travel lanes</u>	<u>11-12 feet (two lanes) with additional turning lane at the intersection</u>	<u>SLV-A</u>
<u>Sidewalk</u>	<u>6 feet (both sides)</u>	<u>SLV-F</u>
<u>Esplanade</u>	<u>None where sidewalk is located directly behind the curb and 8 feet where it is not</u>	<u>SLV-J</u>
<u>On-street Parking</u>	<u>8 feet</u>	<u>SLV-C</u>
<u>Paved shoulders</u>	<u>4 feet where a travel lane, turning lane, or parking lane is not located adjacent to a curb</u>	





SLV Core (parking lane - one side)



(g) **Blocks and Intersections (SLVC)**

Block length 250 feet minimum to 450 feet maximum
Intersection Village Residential Connector or Village Residential (new SLVD street)

(h) **Supplemental Planning Board Review Triggers (SLVC)**

Proposed or existing buildings not meeting minimum RBZ SLVD street frontage requirement
Proposed projects not utilizing SLVC required parking spaces
Proposed buildings more than 50 feet along RBZ SLVD street frontage
Proposed lot less than 20,000 square feet

(i) **Sebago Lake Village Core (SLVC) allowed land uses and permit requirements (SLVC)**

- [1] Refer to the Sebago Lake Village District Regulating Plan for the location of SLVD street frontage types to determine permitted uses.
- [2] Nonconforming uses existing as of the date of adoption of the Sebago Lake Village District are subject to standards of Article V (Nonconforming Uses). When site plan review is triggered by a proposed change in use and/or structure, the use and/or structure shall comply with applicable SLVD street frontage type standards to the greatest extent practicable as determined by the Planning Board.
- [3] Planning Board review is required for new construction, expansion, reconstruction and subdivision, but only

Code Enforcement Officer approval is required for subsequent changes in use in existing structures that meet all of the following:

- [a] Do not increase anticipated traffic volumes by more than 10%;
- [b] Do not change vehicular traffic patterns;
- [c] Do not increase parking requirements by more than 10%;
- [d] Do not change the exterior visual appearance of buildings and continue to meet the applicable SLVD street frontage type standards; and
- [e] Is eligible for a permit by the Code Enforcement Officer per SLVD street frontage type.

[4] Permitted uses, not requiring site plan review, shall be as follows. Such uses shall require approval from the Code Enforcement Officer only:

- [a] Accessory apartments.
- [b] Accessory uses and buildings.
- [c] Agriculture.
- [d] Dwelling, one unit.
- [e] Dwelling, two units.
- [f] Dwelling, studio.
- [g] Family apartment
- [h] Home Occupation Level 1.
- [i] Home Occupation Level 2.
- [j] Home Occupation Level 3.
- [k] Home retail sales.
- [l] Outdoor display and sales.
- [m] Single-family home
- [n] Tradesman.
- [o] Yard or garage sale.

[5] Permitted uses requiring site plan or subdivision review shall be as follows. Such uses shall require Planning Board approval, in accordance with Part 2 or Part 3 of this Chapter:

- [a] Adult day care
- [b] Art center
- [c] Art center – indoor.
- [d] Art gallery/museum.
- [e] Bed-and-breakfast.
- [f] Business professional building.
- [g] Church.
- [h] Convenience store.
- [i] Day-care home.
- [j] Dwelling, multiple-family.
- [k] Elderly housing.
- [l] Fueling station.
- [m] Home care services

- [n] Medical clinics.
- [o] Municipal uses.
- [p] Public utility.
- [q] Restaurant (includes outdoor dining).
- [r] Retail businesses (drive-through facility allowed only behind the building)

(j) **Building form standards (SLVC)**

[1] Building facades:

- [a] Blank walls facing SLVD streets are prohibited.
- [b] Blank lengths of wall exceeding 25 linear feet facing SLVD streets are prohibited.
- [c] Fenestration shall comprise at least 20%, but not more than 90% of the wall area of each floor of a façade facing a SLVD street.
- [d] The building facade may include jogs within the RBZ to articulate entrances, break down the form of the building or create outdoor areas for seating or the display of goods.

[2] Building projections:

- [a] Awnings, porches and stoops shall not project closer than five feet to a common lot line.
- [b] No part of any building, except projecting signage, overhanging eaves, balconies, bay windows and awnings, shall encroach beyond the minimum required RBZ. An eight-foot clearance must be maintained between the ground and the bottom of the projecting encroachment. The top of projecting signage or awnings shall not be placed higher than the second story floor.

[3] Doors/entries:

- [a] A functioning entry door(s) shall be provided along ground story facades facing the primary SLVD street at intervals of not greater than every 50 linear feet.

[4] Green building design standards:

- [a] Best management practices for energy efficiency and low impact development are encouraged. Use of LEED design standards as established by the US Green Building Council or similar organizations is encouraged.

(k) **SLVD streetscape standards (SLVC)**

[1] Sidewalks and curbs:

- [a] Brick, brick pavers and/or concrete (pervious/porous materials encouraged; fly ash concrete encouraged).
- [b] Vertical granite curbing.

[2] Lighting:

- [a] Light-emitting diodes (LEDs) encouraged.
- [b] Full cutoff fixtures required.
- [c] Pedestrian-scaled lighting 30 feet on center or SLVD street-scaled lighting a maximum of 90 feet on center staggered along both sides of the SLVD street.

[3] SLVD street trees: Salt and urban tolerant. Three-inch minimum caliper. Thirty feet on center. Tree trunk shall be a minimum of three feet from curblineline or edge of shoulder.

[4] Signage:

- [a] Building-mounted in signable area: maximum 32 square feet.
- [b] Building-mounted by entrances serving second floor: maximum four square feet, including all tenants.

- [c] Projecting: minimum eight-foot clearance; maximum six square feet.
- [d] Sandwich boards: four square feet maximum.
- [e] No signs permitted above second story floor, including signs in windows.
- [f] Sandwich boards permitted during hours of operation; may not impede pedestrian movement.
- [g] Only externally lit signs are permitted with the use of light-emitting diodes (LEDs) encouraged.
- [h] Cutoff light fixtures required.
- [i] Wood, composite, or metal materials only.
- [j] Neon signs not permitted.

(5) Low impact development standards: Utilize as feasible as defined in § 181-7.1(A).

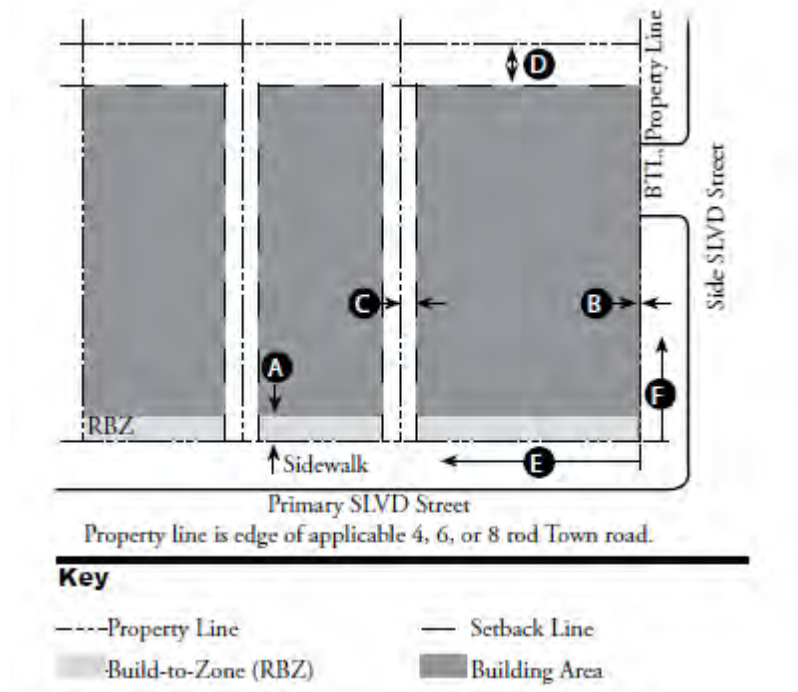
* For purposes of Chapter 181, zoning setbacks for the eight-rod-wide range ways commonly known as the "Northeast, Southwest, Northwest and Southeast Roads" shall be measured from the applicable county or state right-of-way limits rather than the eight-rod-wide range way limits, except that in no event shall new private structures be constructed within the limits of the eight-rod-wide range ways.

** Within the Sebago Lake Village District, the Village Core SLVD street type contains portions of Route 35 with varying associated historic right-of-way (ROW) widths.. The portion of Route 35 contains an historic eight-rod-wide range way. The property line shown in the following diagrams depicting the Village Core SLVD street frontage type is the largest historic right-of-way associated with the applicable SLVD street.



SLV Core Street Frontage Type Concept Elevation

(2) **SLV Fringe (SLVF) standards.**



(a) **Lot Size (SLVF)**

Minimum lot size for single-family homes: 20,000 square feet.

Minimum lot size for all other uses: 7,000 square feet of lot area per 100 gallons per day of design sewage flow for the use of the lot based on the design sewage flows in the Maine State Plumbing Code. Uses other than single-family homes are subject to Supplemental Planning Board (SPB) review. Lots less than 20,000 square feet require a minimum lot size reduction permit issued by Code Enforcement Officer.

(b) **Building Placement (SLVF)**

Required build-to-zone (distance from property line)

Front from edge of 4-, 6- or 8-rod road 15 feet minimum to 25 feet maximum **A**

Side SLVD street, corner lot 10 feet minimum to 25 feet maximum **B**

* For redevelopment properties where adjacent buildings are set back more than 25 feet from the public right-of-way, the front build-to-zone maximum may be set to align with the front face of immediately adjacent properties but not more than 40 feet.

Setback

Side 10 feet minimum **C**

Rear Adjacent to residential or mixed-use 10 feet minimum **D**

Adjacent to any other use 5 feet minimum **D**

Building Form (relationship between building width and lot width)

Primary SLVD street RBZ

30% minimum to 50% maximum

E

Side SLVD street, corner lot RBZ

No minimum or maximum

F

Notes

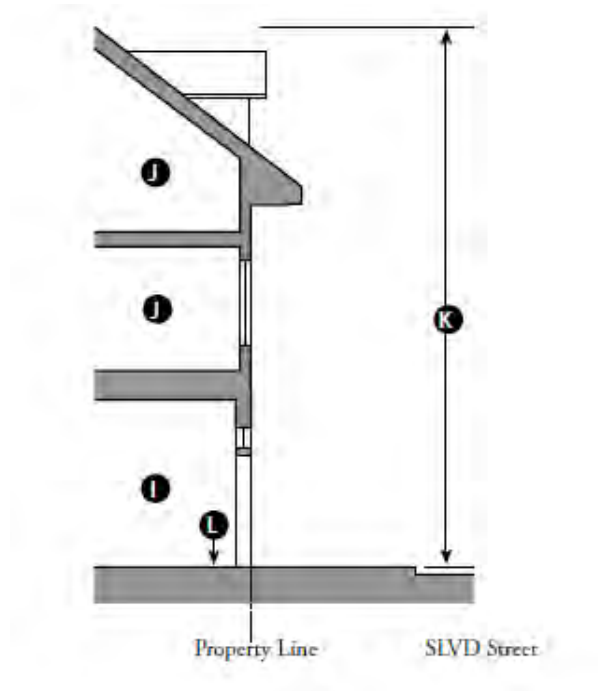
Rear-facing buildings are prohibited.

Loading docks, overhead doors, and other service entries on facades facing the primary SLVD street are prohibited.

Existing service facilities that do not meet this requirement may continue to be used but must be brought into conformance if the use of the building changes or the building is substantially renovated.

The first floor must have a primary ground-floor entrance that faces the primary SLVD street.

Maximum building footprint of 4,000 square feet.



(c) Mix Use (SLVF)

Ground floor

Residential and other permitted uses.

I

Upper floor(s)

Residential and other permitted uses

J

(d) Height (SLVF)

Building minimum

20 feet or two stories

K

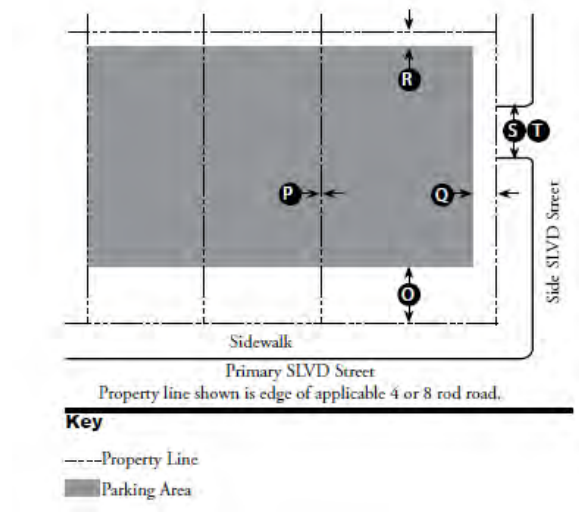
Building maximum

35 feet

K

Ancillary building maximum

25 feet



(e) **Parking (SLVF)**

Location (distance from property line)*

<u>Front setback</u>	<u>Not less than the front setback of the primary structure</u>	<u>O</u>
<u>Side setback</u>	<u>5 feet minimum</u>	<u>P</u>
<u>Side SLVD street setback</u>	<u>15 feet minimum</u>	<u>Q</u>
<u>Rear setback</u>	<u>5 feet minimum</u>	<u>R</u>

* A setback of 15 feet is required when adjacent to an existing residential use.

Required Spaces

Ground floor

<u>Uses less than 3,000 square feet</u>	<u>1 space/200 square feet</u>
<u>Uses greater than 3,000 square feet</u>	<u>1 space/400 square feet</u>
<u>Residential uses</u>	<u>1 space/unit; 0.5 space/studio</u>

Upper floor(s)

<u>Residential uses</u>	<u>1 space/unit; 0.5 space/studio</u>
<u>Other uses</u>	<u>1 space/600 square feet</u>

Parking drive width 16 feet minimum

S

Or as required by Standish Fire Department

On corner lots, parking drive shall not be located on the primary SLVD street where feasible.

T

Notes

Shared drives are encouraged between adjacent lots to minimize curb cuts.

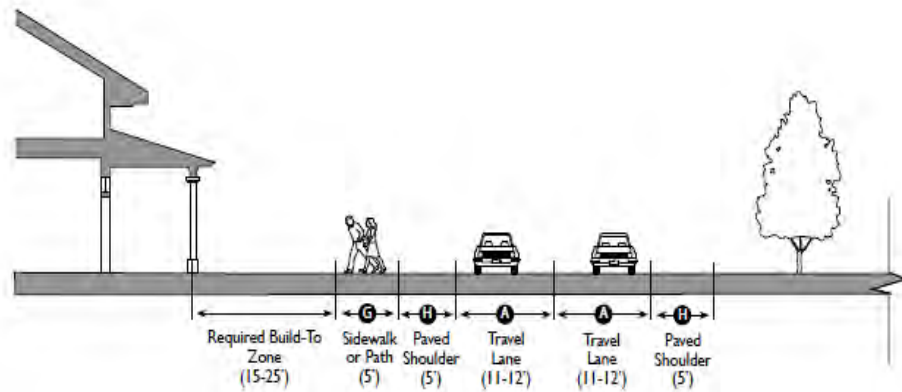
Fifty percent of the parking requirement may be provided off site within 1,000 feet of the site, or as shared parking. Off-site parking may be provided in public parking lots, on-street parking, or in private parking lots. Off-site parking in private lots must be approved by the Planning Board with evidence of perpetual right of owner, his/her/its successors and assigns to use off-site parking by instrument recorded at Registry of Deeds.

Fifty percent of parking may utilize compact parking space dimensions.

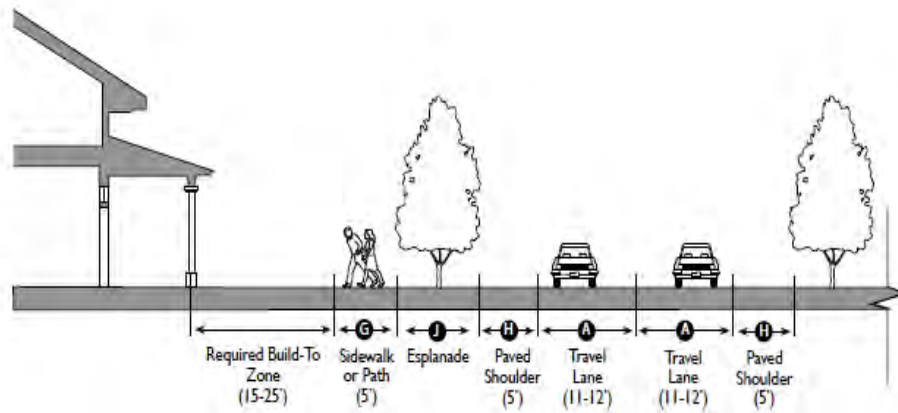
(f) **SLVD Street Space (SLVF)**

Location (width distances)

<u>Travel lanes</u>	<u>11-12 feet (two lanes)</u>	<u>SLV-A</u>
<u>Paved shoulder</u>	<u>5 feet (both sides)</u>	<u>SLV-H</u>
<u>Sidewalk or path</u>	<u>5 feet (one side as shown on SLV Sidewalks-n-trails r1)</u>	<u>SLV-F</u>
<u>Esplanade</u>	<u>None where sidewalk is located directly next to the shoulder and 8 feet where it is not</u>	<u>SLV-J</u>



SLV Fringe (Basic)



SLV Fringe (with esplanade)

(g) **Blocks and Intersections (SLVF)**

<u>Block length</u>	<u>250 feet minimum to 450 feet maximum</u>
---------------------	---

(h) **Supplemental Planning Board Review Triggers (SLVF)**

Proposed or existing buildings not meeting minimum RBZ SLVD street frontage requirement

Proposed projects not utilizing SLVC required parking spaces

Proposed buildings more than 50 feet along RBZ SLVD street frontage

Proposed lot less than 20,000 square feet

(i) **Sebago Lake Village Fringe (SLVF) allowed land uses and permit requirements (SLVF)**

[1] Refer to the Sebago Lake Village District Regulating Plan for the location of SLVD street frontage types to determine permitted uses.

[2] Nonconforming uses existing as of the date of adoption of the Sebago Lake Village District are subject to standards of Article V (Nonconforming Uses). When site plan review is triggered by a proposed change in use and/or structure, the use and/or structure shall comply with applicable SLVD street frontage type standards to the greatest extent practicable as determined by the Planning Board.

[3] Planning Board review is required for new construction, expansion, reconstruction and subdivision, but only Code Enforcement Officer approval is required for subsequent changes in use in existing structures that meet all of the following:

[a] Do not increase anticipated traffic volumes by more than 10%;

[b] Do not change vehicular traffic patterns;

[c] Do not increase parking requirements by more than 10%;

[d] Do not change the exterior visual appearance of buildings and continue to meet the applicable street frontage type standards; and

[e] Is eligible for a permit by the Code Enforcement Officer per SLVD street frontage type.

[4] Permitted uses, not requiring site plan review, shall be as follows. Such uses shall require approval from the Code Enforcement Officer only:

[a] Accessory apartments.

[b] Accessory uses and buildings.

[c] Agriculture.

[d] Dwelling, one unit.

[e] Dwelling, two units.

[f] Dwelling, studio.

[g] Family apartment

[h] Home Occupation Level 1.

[i] Home Occupation Level 2.

[j] Home Occupation Level 3.

[k] Home retail sales.

[l] Outdoor display and sales.

[m] Single-family home

[n] Tradesman.

[o] Yard or garage sale.

[5] Permitted uses requiring site plan or subdivision review shall be as follows. Such uses shall require Planning Board approval, in accordance with Part 2 or Part 3 of this chapter:

- [a] Adult day care
- [b] Art center
- [c] Art center – indoor.
- [d] Art gallery/museum.
- [e] Bed-and-breakfast.
- [f] Business professional building.
- [g] Church.
- [h] Convenience store.
- [i] Collision repair garage.
- [j] Day-care Center.
- [k] Day-care home.
- [l] Dwelling, multiple-family.
- [m] Elderly housing.
- [n] Fueling station.
- [o] Home care services
- [p] Inns
- [q] Manufacturing light.
- [r] Mechanical repair garage.
- [s] Municipal uses.
- [t] Public utility.
- [u] Residential care facility.
- [v] Restaurant (includes outdoor dining).
- [w] Restaurant with drive through (drive-through facility allowed only behind the building)
- [x] Retail businesses (drive-through facility allowed only behind the building)
- [y] School.
- [z] Veterinary clinic.

(j) **Building form standards (SLVF)**

[1] Building facades:

- [a] Blank walls facing SLVD streets are prohibited.
- [b] Blank lengths of wall exceeding 25 linear feet facing SLVD streets are prohibited.
- [c] Fenestration shall comprise at least 20%, but not more than 90% of the wall area of each floor of a façade facing a SLVD street.
- [d] The building facade may include jogs within the RBZ to articulate entrances, break down the form of the building or create outdoor areas for seating or the display of goods.

[2] Building projections:

- [a] Awnings, porches and stoops shall not project closer than five feet to a common lot line.
- [b] No part of any building, except projecting signage, overhanging eaves, balconies, bay

windows and awnings, shall encroach beyond the minimum required RBZ. An eight-foot clearance must be maintained between the ground and the bottom of the projecting encroachment. The top of projecting signage or awnings shall not be placed higher than the second story floor.

[3] Doors/entries:

- [a] A functioning entry door(s) shall be provided along ground story facades facing the primary SLVD street at intervals of not greater than every 50 linear feet.

[4] Green building design standards:

- [a] Best management practices for energy efficiency and low impact development are encouraged. Use of LEED design standards as established by the US Green Building Council or similar organizations is encouraged.

(k) **SLVD streetscape standards (SLVF)**

[1] Sidewalks and paths:

- [a] Brick, brick pavers, concrete and/or bituminous concrete (pervious/porous materials encouraged; fly ash concrete encouraged).
- [b] Stone dust or similar surface for paths.

[2] Lighting:

- [a] Light-emitting diodes (LEDs) encouraged.
- [b] Full cutoff fixtures required.
- [c] Pedestrian-scaled lighting 30 feet on center or SLVD street-scaled lighting a maximum of 90 feet on center staggered along both sides of the SLVD street.

- [3] SLVD street trees: Salt and urban tolerant. Three-inch minimum caliper. Thirty feet on center. Tree trunk shall be a minimum of three feet from curb line or edge of shoulder.

[4] Signage:

- [a] Building-mounted in signable area: maximum 32 square feet.
- [b] Building-mounted by entrances serving second floor: maximum four square feet, including all tenants.
- [c] Projecting: minimum eight-foot clearance; maximum six square feet.
- [d] Pole or ground mounted: maximum 32 square feet and maximum height of 8 feet.
- [e] No signs permitted above second story floor, including signs in windows.
- [f] Only externally lit signs are permitted with the use of light-emitting diodes (LEDs) encouraged.
- [g] Cutoff light fixtures required.
- [h] Wood, composite, or metal materials only.
- [i] Neon signs not permitted.

[5] Low impact development standards: Utilize as feasible as defined in § 181-7.1(A).

- * For purposes of Chapter 181, zoning setbacks for the eight-rod-wide range ways commonly known as the "Northeast, Southwest, Northwest and Southeast Roads" shall be measured from the applicable county or state right-of-way limits rather than the eight-rod-wide range way limits, except that in no event shall new private structures be constructed within the limits of the eight-rod-wide range ways.

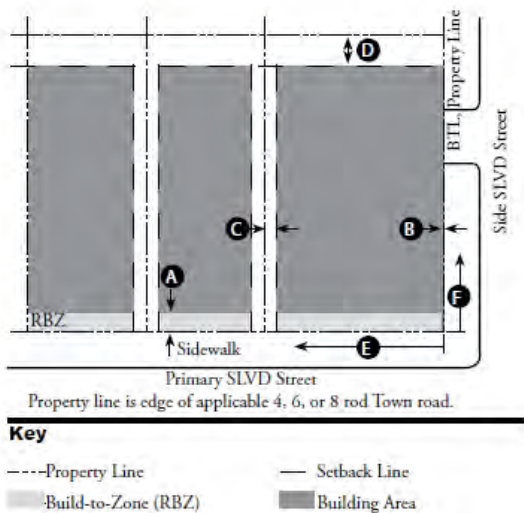
- ** Within the Sebago Lake Village District, the Fringe SLVD street type contains portions of Route 35 with varying associated historic right-of-way (ROW) widths. The portion of

Route 35 contains an historic eight-rod-wide range way. The property line shown in the following diagrams depicting the Fringe SLVD street frontage type is the largest historic right-of-way associated with the applicable SLVD street.



SLV Fringe Street Frontage Type Concept Elevation

(3) SLV Gateway (SLVG) standards.



(a) Lot Size (SLVG)

Minimum lot size for single-family homes: 40,000 square feet with public water or 60,000 square feet without public water. Residential lots that are part of an open space conservation subdivision shall be subject to the SLV Residential standards for open space, conservation subdivisions.

Minimum lot size for all other uses: 15,000 square feet of lot area per 100 gallons per day of design sewage flow for the use of the lot with public water and 20,000 square feet area per 100 gallons per day of design sewage flow for the use of the lot without public water based on the design sewage flows in the Maine State Plumbing Code. Uses other than single-family homes are subject to Supplemental Planning Board (SPB) review. Lots less than 20,000 square feet require a minimum lot size reduction permit issued by Code Enforcement Officer.

(b) Building Placement (SLVG)

Front Setback (distance from property line)

Front from edge of 4-, 6- or 8-rod road 50 feet minimum with no maximum

A

Side SLVD street, corner lot 25feet minimum with no maximum

B

* For properties where adjacent buildings are set back less than 50 feet from the public right-of-way, the front setback may be set to align with the front face of immediately adjacent properties but shall not be less than 25 feet.

Setback

Side 15 feet minimum

C

Rear Adjacent to residential or mixed-use 15 feet minimum

D

Adjacent to any other use 10 feet minimum

D

Building Form (relationship between building width and lot width)

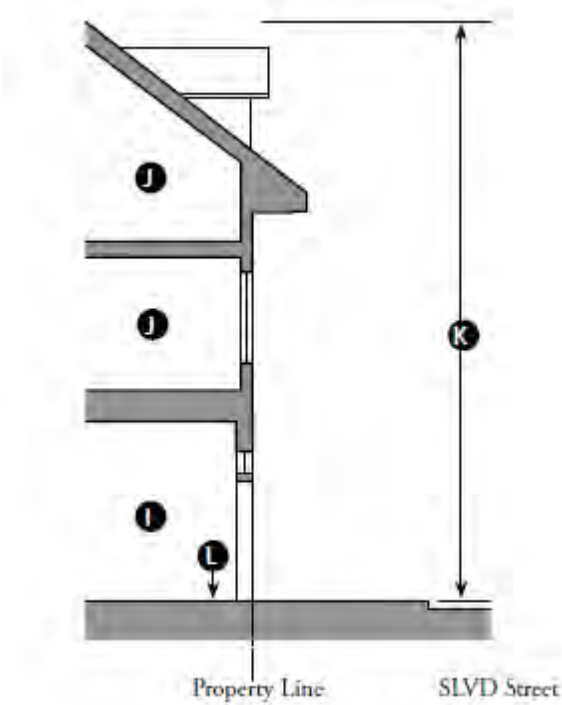
There are no building form requirements in the SLV Gateway

Notes

Rear-facing buildings are prohibited.

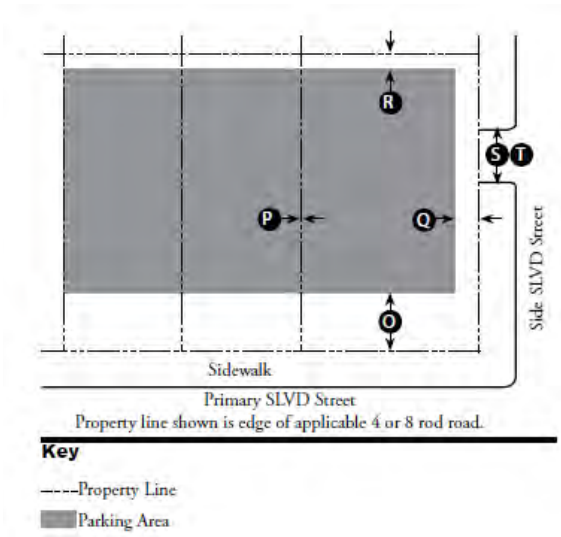
Loading docks, overhead doors, and other service entries on facades facing the primary SLVD street are prohibited. Existing service facilities that do not meet this requirement may continue to be used but must be screened.

be brought into conformance if the use of the building changes or the building is substantially renovated.
The first floor must have a primary ground-floor entrance that faces the primary SLVD street.
Maximum building footprint of 5,000 square feet.



(c) Mix Use (SLVG)		
<u>Ground floor</u>	<u>Residential and other permitted uses.</u>	<u>I</u>
<u>Upper floor(s)</u>	<u>Residential.</u>	<u>J</u>

(d) Height (SLVG)		
<u>Building minimum</u>	<u>20 feet or two stories</u>	<u>K</u>
<u>Building maximum</u>	<u>35 feet</u>	<u>K</u>
<u>Ancillary building maximum</u>	<u>25 feet</u>	



(e) **Parking (SLVG)**

Location (distance from property line)*

<u>Front setback</u>	<u>Not less than the front setback of the primary structure</u>	<u>O</u>
<u>Side setback</u>	<u>10 feet minimum</u>	<u>P</u>
<u>Side SLVD street setback</u>	<u>15 feet minimum</u>	<u>Q</u>
<u>Rear setback</u>	<u>10 feet minimum</u>	<u>R</u>

* A setback of 15 feet is required when parking for a non-residential use is adjacent to an existing residential use.

Required Spaces

Ground floor

<u>Uses less than 3,000 square feet</u>	<u>1 space/200 square feet</u>
<u>Uses greater than 3,000 square feet</u>	<u>1 space/300 square feet</u>
<u>Residential uses</u>	<u>1 space/unit; 0.5 space/studio</u>

Upper floor(s)

<u>Residential uses</u>	<u>1 space/unit; 0.5 space/studio</u>
<u>Other uses</u>	<u>1 space/400 square feet</u>

<u>Parking drive width</u>	<u>16 feet minimum</u>	<u>S</u>
----------------------------	------------------------	----------

Or as required by Standish Fire Department

<u>On corner lots, parking drive shall not be located on the primary SLVD street where feasible.</u>	<u>T</u>
--	----------

Notes

Shared drives are encouraged between adjacent lots to minimize curb cuts.

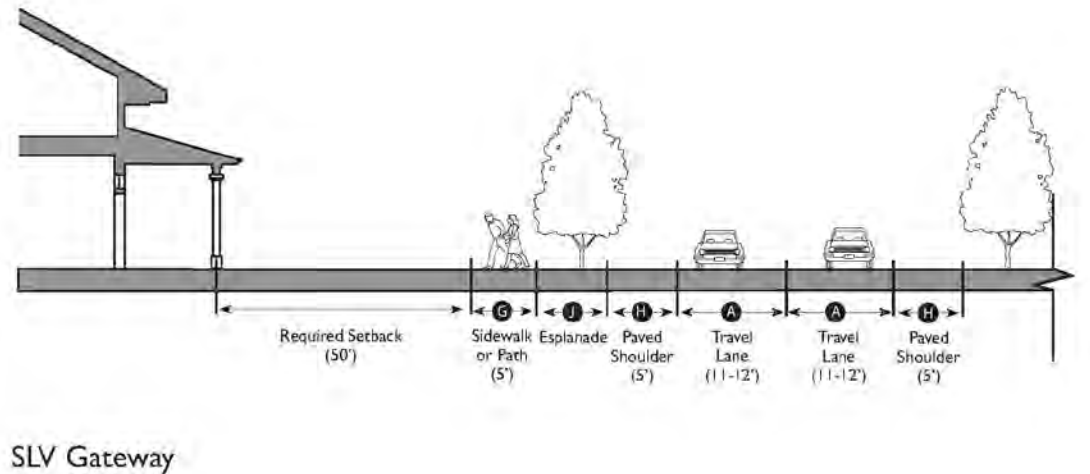
Fifty percent of the parking requirement may be provided off site within 1,000 feet of the site, or as shared parking. Off-site parking may be provided in private parking lots. Off-site parking in private lot must be approved by the Planning Board with evidence of perpetual right of owner, his/her/its success and assigns to use off-site parking by instrument recorded at Registry of Deeds.

Fifty percent of parking may utilize compact parking space dimensions.

(f) **SLVD Street Space (SLVG)**

Location (width distances)

<u>Travel lanes</u>	<u>11-12 feet (two lanes)</u>	<u>SLV-A</u>
<u>Paved shoulder</u>	<u>5 feet (both sides)</u>	<u>SLV-H</u>
<u>Sidewalk or path</u>	<u>5 feet (one side)</u>	<u>SLV-F</u>
<u>Esplanade</u>	<u>Minimum 8 feet</u>	<u>SLV-J</u>



(g) **Blocks and Intersections (SLVG)**

<u>Block length</u>	<u>250 feet minimum to 450 feet maximum</u>
<u>Intersection</u>	<u>Village Residential Connector or Village Residential (new SLVD street)</u>

(h) **Supplemental Planning Board Review Triggers (SLVG)**

- Proposed or existing buildings not meeting minimum RBZ SLVD street frontage requirement
- Proposed projects not utilizing SLVC required parking spaces
- Proposed buildings more than 50 feet along RBZ SLVD street frontage
- Proposed lot less than 20,000 square feet

(i) **Sebago Lake Village Gateway (SLVG) allowed land uses and permit requirements (SLVG)**

- [1] Refer to the Sebago Lake Village District Regulating Plan for the location of SLVD street frontage types to determine permitted uses.
- [2] Nonconforming uses existing as of the date of adoption of the Sebago Lake Village District are subject to standards of Article V (Nonconforming Uses). When site plan review is triggered by a proposed change in use and/or structure, the use and/or structure shall comply with applicable SLVD street frontage type standards to the greatest extent practicable as determined by the Planning Board.
- [3] Planning Board review is required for new construction, expansion, reconstruction and subdivision, but only Code Enforcement Officer approval is required for subsequent changes in use in existing structures that meet all of the following:

- [a] Do not increase anticipated traffic volumes by more than 10%;
 - [b] Do not change vehicular traffic patterns;
 - [c] Do not increase parking requirements by more than 10%;
 - [d] Do not change the exterior visual appearance of buildings and continue to meet the applicable SLVD street frontage type standards; and
 - [e] Is eligible for a permit by the Code Enforcement Officer per SLVD street frontage type.
- [4] Permitted uses, not requiring site plan review, shall be as follows. Such uses shall require approval from the Code Enforcement Officer only:
- [a] Accessory apartments.
 - [b] Accessory uses and buildings.
 - [c] Agriculture.
 - [d] Dwelling, one unit.
 - [e] Dwelling, two units.
 - [f] Dwelling, studio.
 - [g] Family apartment
 - [h] Home Occupation Level 1.
 - [i] Home Occupation Level 2.
 - [j] Home Occupation Level 3.
 - [k] Home retail sales.
 - [l] Outdoor display and sales.
 - [m] Single-family home
 - [n] Tradesman.
 - [o] Yard or garage sale.
- (5) Permitted uses requiring site plan or subdivision review shall be as follows. Such uses shall require Planning Board approval, in accordance with Part 2 or Part 3 of this chapter:
- [a] Adult day care
 - [b] Art center
 - [c] Art center – indoor.
 - [d] Art gallery/museum.
 - [e] Bed-and-breakfast.
 - [f] Business professional building.
 - [g] Church.
 - [h] Community living facility (four or fewer residents).
 - [i] Day-care Center.
 - [j] Day-care home.
 - [k] Elderly housing.
 - [l] Flea market.
 - [m] Greenhouses.
 - [n] Home care services

- [o] Inns.
- [p] Manufacturing light
- [q] Medical clinics
- [r] Municipal uses.
- [s] Public utility.
- [t] Residential care facility.
- [u] Restaurant (includes outdoor dining).
- [v] Retail businesses with less than 2,000 square feet and no drive-through service
- [w] School.
- [x] Veterinary clinic.
- [y] Village housing.

(j) **Building form standards (SLVG)**

- [1] Building facades:
 - [a] Blank walls facing SLVD streets are prohibited.
 - [b] Blank lengths of wall exceeding 25 linear feet facing SLVD streets are prohibited.
 - [c] Fenestration shall comprise at least 20%, but not more than 90% of the wall area of each floor of a façade facing a SLVD street.
 - [d] The building facade may include jogs within the RBZ to articulate entrances, break down the form of the building or create outdoor areas for seating or the display of goods.
- [2] Building projections:
 - [a] Awnings, porches and stoops shall not project closer than five feet to a common lot line.
 - [b] No part of any building, except projecting signage, overhanging eaves, balconies, bay windows and awnings, shall encroach beyond the minimum required RBZ. An eight-foot clearance must be maintained between the ground and the bottom of the projecting encroachment. The top of projecting signage or awnings shall not be placed higher than the second story floor.
- [3] Doors/entries:
 - [a] A functioning entry door(s) shall be provided along ground story facades facing the primary SLVD street.
- [4] Green building design standards:
 - [a] Best management practices for energy efficiency and low impact development are encouraged. Use of LEED design standards as established by the US Green Building Council or similar organizations is encouraged.

(k) **SLVD streetscape standards (SLVG)**

- [1] Sidewalks and paths:
 - [a] Brick, brick pavers, concrete and/or bituminous concrete (pervious/porous materials encouraged; fly ash concrete encouraged).
 - [b] Stone dust or similar surface for paths.
- [2] Lighting:
 - [a] Light-emitting diodes (LEDs) encouraged.
 - [b] Full cutoff fixtures required.

[3] SLVD street trees: Salt and urban tolerant. Three-inch minimum caliper. Thirty feet on center. Tree trunk shall be a minimum of three feet from curb line or edge of shoulder.

[4] Signage:

- [a] Building-mounted in signable area: maximum 32 square feet.
- [b] Building-mounted by entrances serving second floor: maximum four square feet, including all tenants.
- [c] Projecting: minimum eight-foot clearance; maximum six square feet.
- [d] Pole or ground mounted: maximum 32 square feet and maximum height of 8 feet.
- [e] No signs permitted above second story floor, including signs in windows.
- [f] Only externally lit signs are permitted with the use of light-emitting diodes (LEDs) encouraged.
- [g] Cutoff light fixtures required.
- [h] Wood, composite, or metal materials only.
- [i] Neon signs not permitted.

[5] Low impact development standards: Utilize as feasible as defined in § 181-7.1(A).

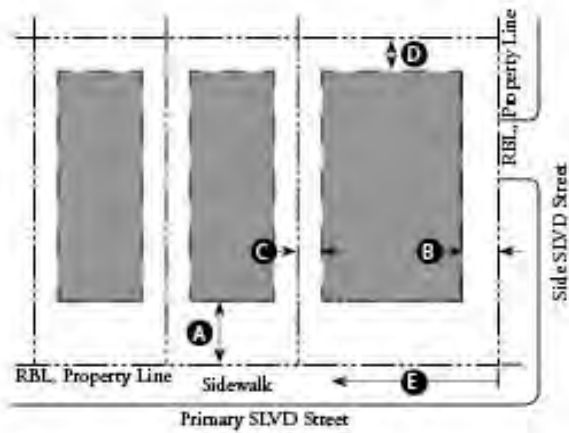
* For purposes of Chapter 181, zoning setbacks for the eight-rod-wide range ways commonly known as the "Northeast, Southwest, Northwest and Southeast Roads" shall be measured from the applicable county or state right-of-way limits rather than the eight-rod-wide range way limits, except that in no event shall new private structures be constructed within the limits of the eight-rod-wide range ways.

** Within the Sebago Lake Village District, the Gateway SLVD street type contains portions of Route 35 with varying associated historic right-of-way (ROW) widths. The portion of Route 35 contains an historic eight-rod-wide range way. The property line shown in the following diagrams depicting the Gateway SLVD street frontage type is the largest historic right-of-way associated with the applicable SLVD street.



SLV Gateway Street Frontage Type Concept Elevation

(4) **SLV Residential Connector (SLVRC) Standards**



Key

- Property Line
- Setback Line
- Required Build-to Line (RBL)
- Building Area

(a) **Lot Size (SLVRC)**

Single Family Lot – non-subdivision lot or a lot in a conventional subdivision: minimum of 40,000 SF with public water and 60,000 SF without public water

Single Family Unit – conservation subdivision/development: maximum density of one unit per 30,000 SF of net residential area

All Other Uses: 15,000 SF per 100 gpd design sewage flow for the use of the lot based on the design sewage flows in the Maine State Plumbing Code. Uses other than single-family homes are subject to Supplemental Planning Board Review. Lots less than 20,000 square feet require a minimum lot size reduction permit issued by the Code Enforcement Officer.

(b) **Building Placement (SLVRC)**

Setbacks

Front*

- non- conservation development 25 feet minimum or average of adjacent lots if less than 25 feet
- conservation subdivision/development 15 feet minimum to 25 feet maximum

Side SLVD street, corner lot 25 feet minimum or average of adjacent lots if less than 25 feet

Side 15 feet

Rear 10 feet

*Porches may be placed within front setback.

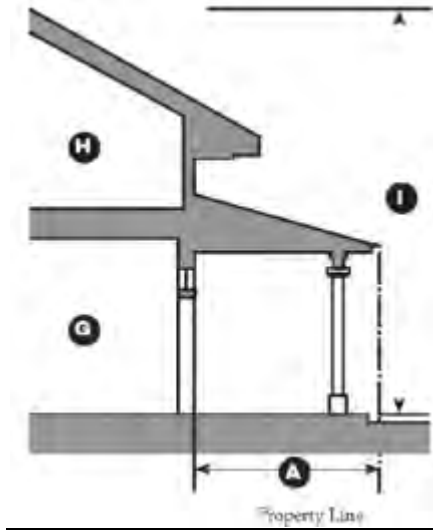
Building Form

Lot width 120 feet minimum

Notes

The primary entrance for a nonresidential or mixed-use building must face the primary SLVD street.
The primary entrance for a residential building on a corner lot may face either SLVD street.

Attached or detached garages shall be located so that any garage doors facing the primary SLVD street shall not be closer to the front property line than the front plane of the principal building or the point on the front porch (if any) closest to the property line, whichever is closer to the street.



(c) **Mix Use (SLVRC)**

<u>Ground floor</u>	<u>Residential or other permitted uses</u>	<u>G</u>
<u>Upper floor(s)</u>	<u>Residential or other permitted uses</u>	<u>H</u>

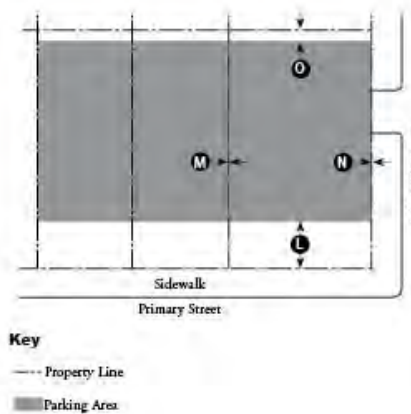
(d) **Height (SLVRC)**

<u>Building minimum</u>	<u>20 feet</u>	
<u>Building maximum</u>	<u>35 feet</u>	<u>I</u>
<u>Ancillary building maximum</u>	<u>25 feet</u>	

(e) **Parking (excluding parking in the driveway of a single-family home) (SLVRC)**

Location (distance from property line)

<u>Front setback</u>	<u>A minimum of 5 feet more than the front setback of the principal building</u>	<u>L</u>
<u>Side setback</u>	<u>10 feet</u>	<u>M</u>
<u>Side SLVD street setback</u>	<u>15 feet</u>	<u>N</u>
<u>Rear setback</u>	<u>10 feet</u>	<u>O</u>



Required Spaces

Residential uses 1 space/unit; 0.5 spaces/studio

Nonresidential uses 0.5 spaces per employee not residing at the location

Notes

The maximum width of the parking drive shall be 12 feet unless otherwise required by the Fire Department.

(f) SLVD Street Space (SLVRC)

Location (width distances)

<u>Roadway</u>	<u>16 feet</u>	<u>SLV-B</u>
<u>Paved bike lanes</u>	<u>3 feet (both sides)</u>	<u>SLV-M</u>
<u>Grass Shoulder</u>	<u>5 feet (both sides)</u>	<u>SLV-I</u>
<u>Sidewalk</u>	<u>5 feet (one side)</u>	<u>SLV-F</u>
<u>Esplanade</u>	<u>6 feet (one side)</u>	<u>SLV-J</u>
<u>Rain garden</u>	<u>Varies (one side)</u>	<u>SLV-K</u>

(g) Blocks and Intersections (SLVRC)

<u>Block length</u>	<u>400 feet minimum to 1,200 feet maximum</u>
<u>Intersection</u>	<u>SLV Fringe, SLV Gateway, SLV Residential</u>

(h) SLVD Residential Connector allowed land uses and permit requirements (SLVRC)

- [1] Uses not listed are not permitted. Nonconforming uses existing as of the date of adoption of the Sebago Lake Village District are subject to standards of Article V (Nonconforming Uses). When site plan review is triggered by a proposed change in use and/or structure, the use and/or structure shall comply with applicable SLVD street frontage type standards to the greatest extent practicable as determined by the Planning Board.
- [2] Planning Board review is required for new construction, expansion, reconstruction and subdivision, but only Code Enforcement Officer approval is required for subsequent uses in existing structures that meet all of the following:
 - [a] Do not increase anticipated traffic volumes by more than 10%;
 - [b] Do not change vehicular traffic patterns;
 - [c] Do not increase parking requirements by more than 10%;
 - [d] Do not change the exterior visual appearance and continue to meet the applicable SLVD street

frontage type standards; and

[e] That are eligible for a permit by the Code Enforcement Officer per SLVD street frontage type.

[3] Permitted uses, not requiring site plan review, shall be as follows. Such uses shall require approval from the Code Enforcement Officer only:

[a] Accessory apartment.

[b] Accessory uses and buildings.

[c] Agriculture.

[d] Dwelling, one unit.

[e] Dwelling, two units.

[f] Dwelling, studio.

[g] Family apartment.

[h] Home Occupation Level 1.

[i] Home Occupation Level 2.

[j] Home Occupation Level 3.

[k] Home retail sales.

[l] Outdoor display and sales.

[m] Single-family home.

[n] Tradesman.

[o] Yard or garage sale.

[4] Permitted uses requiring site plan or subdivision review shall be as follows. Such uses shall require Planning Board approval, in accordance with Part 2 or Part 3 of this chapter:

[a] Bed and Breakfast

[b] Business and professional offices in a mixed-use building.

[c] Conservation subdivision/development.

[d] Community living facility (four or fewer persons).

[e] Day-care home.

[f] Dwelling, multiple-family.

[g] Elderly housing subdivision.

[h] Municipal uses.

[i] Public utility.

[j] Residential care facility.

(i) **SLVD streetscape, building and buffering standards (SLVRC)**

[1] Sidewalks and curbs:

[a] Asphalt, brick, brick paver or concrete sidewalks (pervious/porous material encouraged; fly ash concrete encouraged).

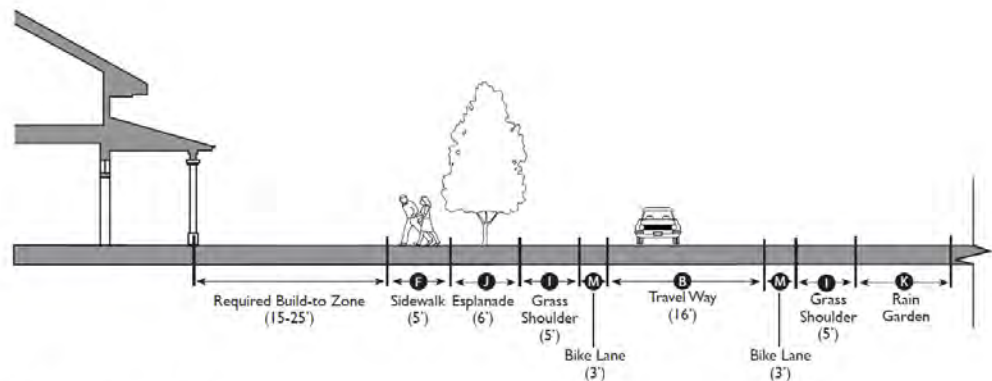
[b] Granite curbing at radius of intersection required.

[2] Lighting:

[a] Light-emitting diodes (LEDs) encouraged.

[b] Full cutoff fixtures required.

- [c] SLVD street-scaled lighting required at intersections.
- [d] Pedestrian lighting (optional) 30 feet to 50 feet on center.
- [3] SLVD street trees: Salt and urban tolerant. Three-inch minimum caliper, 30 feet to 50 feet on center. Plant in esplanade. Three feet clear of curb line or edge of shoulder.
- [4] Buffering:
 - [a] On-site parking for nonresidential uses shall be buffered with plantings and fencing to minimize visual impacts and glare from headlights.
 - [b] Waste storage for all shall not be visible from the SCD street and buffered from abutters.
- [5] Signage (Property cannot have both post-mounted and projecting signage.):
 - [a] Single-post-mounted: maximum six square feet; bottom of sign no lower than six feet and top no higher than eight feet.
 - [b] Building-mounted by entrances serving second floor: maximum four square feet, including all tenants.
 - [c] Projecting: maximum six square feet.
 - [d] No signs permitted above second story floor, including signs in windows.
 - [e] No internally or externally lit signs allowed.
 - [f] Wood, composite, or metal materials only.
- [6] Low impact development standards: Utilize as feasible as defined in § 181-7.1(A).
- [7] Green building design standards: Best management practices for energy efficiency and low impact development are encouraged. Use of LEED design standards as established by the US Green Building Council or similar organizations is encouraged.

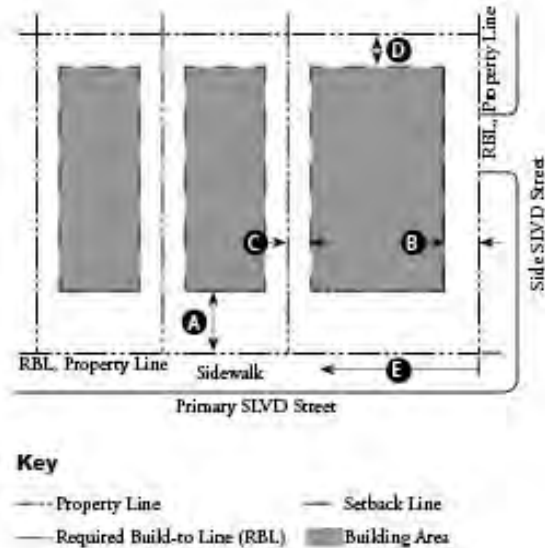


SLV Residential Connector



SLV Residential Connector Street Frontage Type Concept Elevation

(5) **SLV Residential (SLVR) Standards**



(a) **Lot Size (SLVR)**

Single Family Lot – non-subdivision lot or a lot in a conventional subdivision: minimum of 40,000 SF with public water and 60,000 SF without public water

Single Family Unit – conservation subdivision/development: maximum density of one unit per 30,000 SF of net residential area

All Other Uses: 15,000 SF per 100 gpd design sewage flow for the use of the lot based on the design sewage flows in the Maine State Plumbing Code. Uses other than single-family homes are subject to Supplemental Planning Board Review. Lots less than 20,000 square feet require a minimum lot size reduction permit issued by the Code Enforcement Officer.

(b) **Building Placement (SLVR)**

Setbacks

Front*

- non- conservation development 25 feet minimum or average of adjacent lots if less than 25 feet

- conservation subdivision/development 15 feet minimum to 25 feet maximum

Side SLVD street, corner lot 25 feet minimum or average of adjacent lots if less than 25 feet

A

B

Side 15 feet

C

Rear 10 feet

D

*Porches may be placed within front setback.

Building Form

Lot width

- lots in conservation subdivisions/developments that front on internal streets 75 feet minimum on internal streets

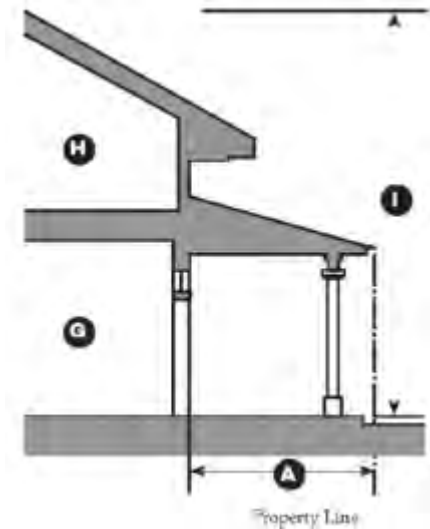
E

- all other lots including lots in conservation Subdivisions/developments that front on Routes 35 or 114 120 feet

Notes

The primary entrance must face the primary SLVD street.

Attached or detached garages shall be located so that any garage doors facing the primary SLVD street shall not be closer to the front property line than the front plane of the principal building or the point on the front porch (if any) closest to the property line, whichever is closer to the street.



(c) **Mix Use (SLVR)**

Ground floor Residential

G

Upper floor(s) Residential or other permitted uses

H

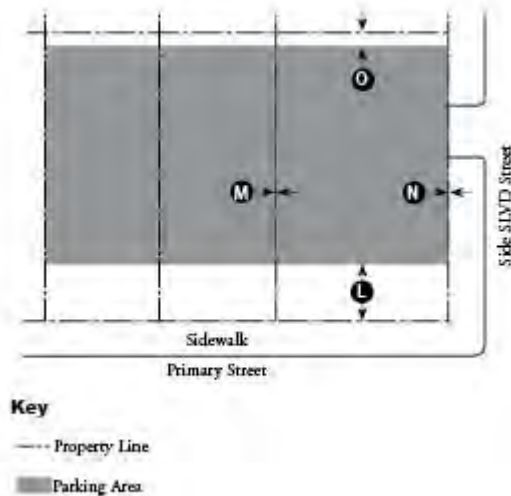
(d) **Height (SLVR)**

Building minimum 20 feet

Building maximum 35 feet

I

Ancillary building maximum 25 feet



(e) **Parking (excluding parking in the driveway of a single-family home) (SLVR)**

Location (distance from property line)

Front setback A minimum of 5 feet more than the front setback of the principal building

L

Side setback 10 feet

M

Side SLVD street setback 15 feet

N

Rear setback 10 feet

O

Required Spaces

Residential uses 1 space/unit; 0.5 spaces/studio

Nonresidential uses 0.5 spaces per employee not residing at the location

Notes The maximum width of the parking drive shall be 12 feet unless otherwise required by the Fire Department.

(f) **SLVD Street Space (SLVR)**

Location (width distances)

Roadway 16 feet SLV-B

Grass Shoulder 5 feet (both sides) SLV-I

Esplanade 6 feet (one side) SLV-J

Sidewalk 5 feet (one side) SLV-F

Rain garden Varies (one side) SLV-K

(g) **Blocks and Intersections (SLVR)**

Block length 400 feet minimum to 1,200 feet maximum

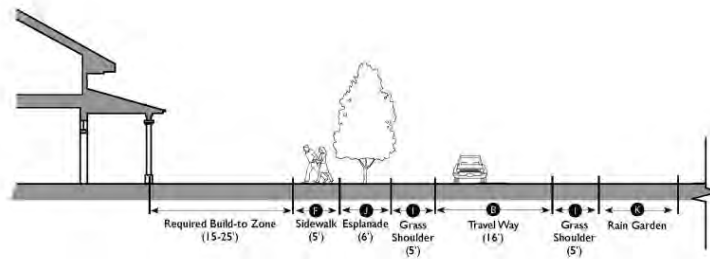
Intersection SLV Fringe, SLV Gateway, SLV Residential Connector, SLV Residential

(h) **SLV Residential allowed land uses and permit requirements (SLVR)**

- [1] Uses not listed are not permitted. Nonconforming uses existing as of the date of adoption of the Sebago Lake Village District are subject to standards of Article V (Nonconforming Uses). When site plan review is triggered by a proposed change in use and/or structure, the use and/or structure shall comply with applicable SLVD street frontage type standards to the greatest extent practicable as determined by the Planning Board.
- [2] Planning Board review is required for new construction, expansion, reconstruction and subdivision, but only Code Enforcement Officer approval is required for subsequent uses in existing structures that meet all of the following:
 - [a] Do not increase anticipated traffic volumes by more than 10%;
 - [b] Do not change vehicular traffic patterns;
 - [c] Do not increase parking requirements by more than 10%;
 - [d] Do not change the exterior visual appearance and continue to meet the applicable SLVD street frontage type standards; and
 - [e] That are eligible for a permit by the Code Enforcement Officer per SLVD street frontage type.
- [3] Permitted uses, not requiring site plan review, shall be as follows. Such uses shall require approval from the Code Enforcement Officer only:
 - [a] Accessory apartment.
 - [b] Accessory uses and buildings.
 - [c] Agriculture.
 - [d] Dwelling, one unit.
 - [e] Dwelling, two units.
 - [f] Dwelling, studio.
 - [g] Family apartment.
 - [h] Home Occupation Level 1.
 - [i] Home Occupation Level 2.
 - [j] Home Occupation Level 3.
 - [k] Home retail sales.
 - [l] Outdoor display and sales.
 - [m] Single-family home.
 - [n] Tradesman.
 - [o] Yard or garage sale.
- (4) Permitted uses requiring site plan or subdivision review shall be as follows. Such uses shall require Planning Board approval, in accordance with Part 2 or Part 3 of this chapter:
 - [a] Business and professional offices on the upper floors of a mixed-use building.
 - [b] Conservation subdivision/development
 - [c] Community living facility (four or fewer persons).
 - [d] Day-care home.
 - [e] Dwelling, multi-family.
 - [f] Elderly housing subdivision.
 - [g] Municipal uses.
 - [g] Public utility.

(i) **SLVD streetscape, building and buffering standards (SLVR)**

- [1] Sidewalks and curbs:
 - [a] Asphalt, brick, brick paver or concrete sidewalks (pervious/porous material encouraged; fly ash concrete encouraged).
 - [2] Granite curbing at radius required for an intersection with a higher order street.
- [2] Lighting:
 - [a] Light-emitting diodes (LEDs) encouraged.
 - [b] Full cutoff fixtures required.
 - [c] SLVD street-scaled lighting required at intersections.
 - [d] Pedestrian lighting (optional) 30 feet to 50 feet on center.
- [3] SLVD street trees: Salt and urban tolerant. Three-inch minimum caliper, 30 feet to 50 feet on center. Plant in esplanade. Three feet clear of curb line or edge of shoulder.
- [4] Buffering:
 - [a] On-site parking for nonresidential uses shall be buffered with plantings and fencing to minimize visual impacts and glare from headlights.
 - [b] Waste storage shall not be visible from the SLVD street and must be buffered from abutters.
- [5] Signage (Property cannot have both post-mounted and projecting signage.):
 - [a] Single-post-mounted: maximum six square feet; bottom of sign no lower than six feet and top no higher than eight feet.
 - [b] Building-mounted by entrances serving second floor: maximum four square feet, including all tenants.
 - [c] Projecting: maximum six square feet.
 - [d] No signs permitted above second story floor, including signs in windows.
 - [e] No internally or externally lit signs allowed.
 - [f] Wood, composite, or metal materials only.
- [6] Low impact development standards: Utilize as feasible as defined in § 181-7.1(A).
- [7] Green building design standards: Best management practices for energy efficiency and low impact development are encouraged. Use of LEED design standards as established by the US Green Building Council or similar organizations is encouraged.

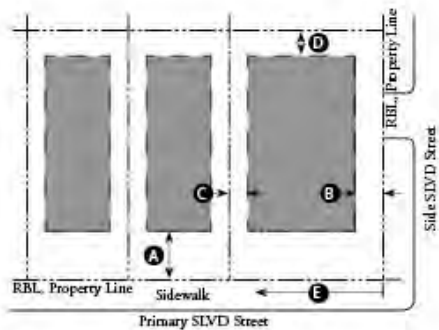


SLV Residential



SLV Residential Street Frontage Type Concept Elevation

(6) SLV Lake Access (SLVLA) Standards



Key

- Property Line
- Setback Line
- Required Build-to Line (RBL)
- Building Area

(a) Lot Size (SLVLA)

All Uses: No minimum.

(b) **Building Placement (SLVLA)**

Setbacks

Front* 25 feet minimum

A

Side SLVD street, corner lot 25 feet minimum

B

Side 25 feet minimum

C

Rear 25 feet minimum

D

*Utility facilities and porches may be placed within front setback.

Building Form

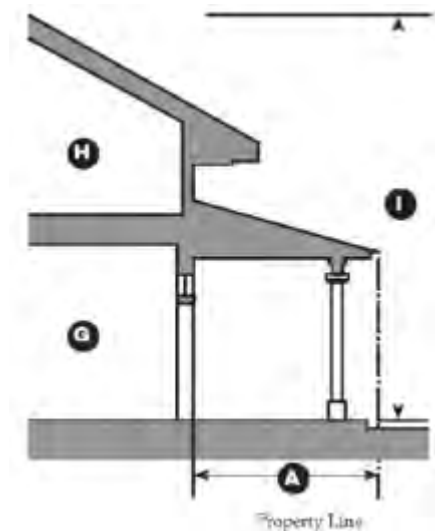
Lot width No minimum

E

Notes

All setbacks shall be maintained as landscaped buffers except for service drives and utility corridors.

No service or storage activities shall occur in the front setback.



(c) **Mix Use (SLVLA)**

Ground floor Any permitted use

G

Upper floor(s) Any permitted uses

H

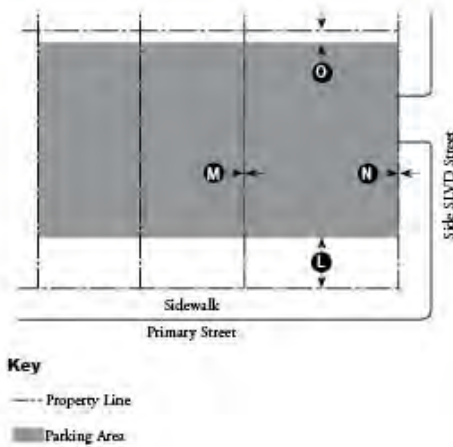
(d) **Height (SLVLA)**

Building minimum None

Building maximum 35 feet

I

Ancillary building maximum 25 feet



(e) **Parking (SLVLA)**

Location (distance from property line)

<u>Front setback</u>	<u>A minimum of 5 feet more than the front setback of the principal building</u>	<u>L</u>
<u>Side setback</u>	<u>25 feet</u>	<u>M</u>
<u>Side SLVD street setback</u>	<u>25 feet</u>	<u>N</u>
<u>Rear setback</u>	<u>25 feet</u>	<u>O</u>

Required Spaces

<u>Recreational and educational uses</u>	<u>1 space per 4 users based upon the maximum capacity of the facility as determined by the Planning Board</u>
<u>Nonresidential and utility uses</u>	<u>0.5 spaces per employee regularly working at the location</u>

Notes

The maximum width of the parking drive shall be as required by the Fire Department based on the use.

(f) **SLVD Street Space (SLVLA)**

Location (width distances)

<u>Roadway</u>	<u>25 feet</u>	<u>B</u>
<u>Sidewalk or other pedestrian facility</u>	<u>5 feet (one side)</u>	<u>F</u>
<u>Trailer Parking</u>	<u>20-30 feet (one or both sides of the travel way)</u>	<u>L</u>

(g) **Blocks and Intersections (SLVLA)**

<u>Block length</u>	<u>No minimum or maximum</u>
<u>Intersection</u>	<u>SLV Fringe, SLV Core</u>

(h) **SLV Lake Access allowed land uses and permit requirements (SLVLA)**

- (a) Uses not listed are not permitted. Nonconforming uses existing as of the date of adoption of the Sebago Lake Village District are subject to standards of Article V (Nonconforming Uses). When site plan review is triggered by a proposed change in use and/or structure, the use and/or structure shall comply with applicable SLVD street frontage type standards to the greatest extent practicable as determined by the Planning Board.
- (b) Planning Board review is required for new construction, expansion, reconstruction and subdivision, but only Code Enforcement Officer approval is required for subsequent uses in existing structures that meet all of the following:
 - [1] Do not increase anticipated traffic volumes by more than 10%;
 - [2] Do not change vehicular traffic patterns;
 - [3] Do not increase parking requirements by more than 10%;
 - [4] Do not change the exterior visual appearance and continue to meet the applicable SLVD street frontage type standards; and
 - [5] That are eligible for a permit by the Code Enforcement Officer per SLVD street frontage type.
- (c) Permitted uses, not requiring site plan review, shall be as follows. Such uses shall require approval from the Code Enforcement Officer only:
 - [1] Accessory uses and buildings.
 - [2] Agriculture.
 - [3] Forestry Management.
 - [4] Timber Harvesting.
- (d) Permitted uses requiring site plan or subdivision review shall be as follows. Such uses shall require Planning Board approval, in accordance with Part 2 or Part 3 of this chapter:
 - [1] Municipal uses.
 - [2] Public utility uses.
- (i) **SLVD streetscape, building and buffering standards (SLVLA)**
 - [1] Sidewalks and curbs:
 - [a] Asphalt, brick, brick paver or concrete sidewalks (pervious/porous material encouraged; fly ash concrete encouraged).
 - [b] Granite curbing at radius required for an intersection with a higher order street.
 - [2] Lighting:
 - [a] Light-emitting diodes (LEDs) encouraged.
 - [b] Full cutoff fixtures required.
 - [c] SLVD street-scaled lighting required at intersections.
 - [d] Pedestrian lighting (optional) 30 feet to 50 feet on center.
 - [3] SLVD street trees: Salt and urban tolerant. Three-inch minimum caliper, 30 feet to 50 feet on center. Plant in esplanade. Three feet clear of curb line or edge of shoulder.
 - [4] Buffering:
 - [a] On-site parking for nonresidential uses shall be buffered with plantings and fencing to minimize visual impacts and glare from headlights.
 - [b] Waste storage shall not be visible from the SLVD street and must be buffered from abutters.
 - [c] Individual boulders or large rocks may only be used as part of an overall landscaping treatment for the buffer.
 - [5] Signage (Property cannot have both post-mounted and projecting signage.):
 - [a] Single-post-mounted: maximum six square feet; bottom of sign no lower than six feet and top no

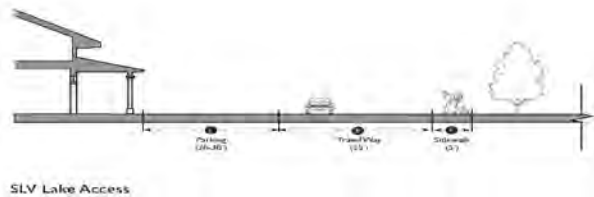
higher than eight feet.

[b] No internally or externally lit signs allowed.

[c] Wood, composite, or metal materials only.

[6] Low impact development standards: Utilize as feasible as defined in § 181-7.1(A).

[7] Green building design standards: Best management practices for energy efficiency and low impact development are encouraged. Use of LEED design standards as established by the US Green Building Council or similar organizations is encouraged.



§ 181-8. BC-Business and Commercial Districts.

These areas should be reserved for business and commercial activities to provide accessibility in controlled areas and to separate them from residential areas. Approval will be required under Part 2, Site Plan Review, of this chapter.

O. In the Business and Commercial Zone, the Planning Board has the authority to require pedestrian ways in conformance with this Part 1 as a present or future practical extension of pedestrian ways in the Village Center Zone and/or the ~~Standish Corner District~~ Form Based Code Village Districts. [Amended 6-7-2011]

§ 181-11.8. Contract zoning agreement.

A. Conditions and restrictions imposed under the authority of this section shall relate only to the physical development and operation of the property and may include, by way of example:

- (12) Provisions for meeting the applicable ~~SCD FBCVD~~ street frontage type standards within the ~~Standish Corner District~~ Form Based Code Village Districts; [Added 6-7-2011]
- (13) Provisions for creating vehicular and pedestrian connections, particularly in the ~~Standish Corner District~~ Form Based Code Village Districts, pursuant to the applicable ~~SCD FBCVD~~ street frontage type standards; [Added 6-7-2011]
- (14) In the ~~Standish Corner District~~ Form Based Code Village Districts, the creation of an allowable ~~SCD FBCVD~~ street frontage type or driveway to create connections to adjacent ~~SCD FBCVD~~ streets, arterials or parking lots; [Added 6-7-2011]
- (15) In the ~~Standish Corner District~~ Form Based Code Village Districts, the reservation of a proposed right-of-way(s) as shown on a Planning Board approved Connectivity Master Plan. Such streets shall provide for the proper continuation of streets from adjacent subdivisions and built-up areas and proper projection of streets into adjacent unsubdivided and open land; and [Added 6-7-2011]
- (16) The creation of parks, streetscapes or civic spaces, particularly in the ~~Standish Corner District~~ Form Based Code Village

§ 181-12. Zoning Map.

[Amended 10-10-2006 by Order No. 123-06; 6-7-2011]

The Official Zoning Map of the Town of Standish dated ~~March 8, 2014~~ June 20, 2014, is hereby adopted as a part of this Zoning Ordinance and shall be the final authority as to the current zoning status of the land and water areas, buildings and other structures in the Town. Editor's Note: The Zoning Map of the Town is on file in the Town offices and can be examined there during regular office hours.

§ 181-14. Lots.

B. Nonconforming lots.

- (3) Access to lots with nonconforming frontages located outside of ~~Standish Corner District~~ Form Based Code Village Districts. Lots which are served by an arterial and which are nonconforming with respect to required frontage as of the effective date of Article IV, Roadway Plan, Editor's Note: See Ch. 252, Streets and Sidewalks, Art. IV, Roadway Plan. are prohibited from developing more than a total of one access point. Nonconforming frontage lots which, as of the effective date of Article IV, Editor's Note: See Ch. 252, Streets and Sidewalks, Art. IV, Roadway Plan. are improved with structures are prohibited from expanding or converting such structures, where such activity will result in the need for new access points or an increase in the anticipated peak hour traffic volume of more than 50% over existing volumes. Where adjoining nonconforming frontage lots are owned in common, those lots shall be considered combined for the purposes of meeting the frontage and access requirements of Article IV. Editor's Note: See Ch. 252, Streets and Sidewalks, Art. IV, Roadway Plan. [Amended 6-7-2011]

C. Back lots. Back lots used solely for single-family purposes shall be permitted, subject to the following: [Amended 6-2-1998 by Order No. 49-98; 3-9-2005 by Order No. 169-04]

(1) Access.

- (f) New back lots legally created in the Standish Corner District after June 7, 2011, are exempt from the Standish Corner District standards; provided, however, that the back lot must contain a minimum of 60,000 square feet of area and have a minimum of 175 feet of SCD street frontage. The back lot may not be further subdivided, and this restriction shall be recorded in the Cumberland County Registry of Deeds prior to issuance of a building permit. [Added 6-7-2011]

§ 181-21. Buffer areas to streets.

- F. Within the ~~Standish Corner District~~ Form Based Code Village Districts, the buffer area to streets standard shall be met by installing the ~~SCD FBCVD~~ streetscape elements per applicable ~~SCD FBCVD~~ street frontage type standards. [Added 6-7-2011]

§ 181-22. Pedestrian ways.

- C. Within the ~~Standish Corner District~~ Form Based Code Village Districts, pedestrian accessways shall meet the standards per the applicable ~~SCD FBCVD~~ street frontage type. [Added 6-7-2011]

§ 181-24. Off-street parking and loading space requirements.

- A. Off-street parking. Except as otherwise provided in Subsection A (1) below, off-street parking spaces shall be provided in

accordance with the specifications in this section in any district whenever any new use is established. Off-street parking is not permitted within the required building setback, unless a variance is obtained from the Zoning Board of Appeals. [Amended 5-9-2006 by Order No. 37-06; 6-7-2011]

Use	Minimum Parking Spaces Required
Commercial accommodations	1 for each lodging unit
Residential	2 per dwelling unit
Elderly housing	1 per bedroom, plus 1 for every 10 dwelling units, plus 1 for every 200 square feet of nondwelling unit floor area
Church	1 per 3 seats in principal assembly room
School	1 per 3 seats in principal assembly room or 2 per classroom, whichever is greater
Private club or lodge	1 per 4 members
Theater	1 per 4 seats
Hospital and nursing home, professional office and business services, medical clinic and retail business in commercial districts	1 for every 250 square feet of gross leasable area
Retail business and personal service establishment	1 for each 180 square feet of gross leasable area
Eating and drinking establishment	1 for every 3 seats
Industrial	1 for each 1.2 employees, based on the highest expected average employee occupancy
Funeral homes	1 for each 75 square feet of floor space in slumber rooms, parlors and individual service rooms
Industrial, public utility, warehouse or storage facility	1 per employee per 24-hour period and 1 per vehicle used to conduct business

- (1) Within the ~~Standish Corner District~~ Form Based Code Village Districts, off-street parking and loading space requirements are per the applicable ~~SCD~~ FBCVD street frontage type standards.

§ 181-27.1. Conservation development.

[Added 1-8-2013 by Order No. 119-12]

A. Purpose and administration.

(1) The purpose of this section is provide for controlled flexibility of lot sizes in residential developments in order that the number of dwelling units contemplated by the lot size and density requirements of the Zoning Ordinance may be generally maintained while preserving productive farming and forestry uses; maintaining ecological productivity; preserving a sense of rural character and open space; harmonizing new residential development with traditional working land, agricultural fields, woodlots, rural and village landscapes; reducing or avoiding development impacts on sensitive high-value habitat and natural resources identified in the Town of Standish Comprehensive Plan; and creating opportunities for new recreational land to be available. This technique is permitted, if approved by the Planning Board, in the Rural (RU), Rural Residential (RR), Residential (R), Village Center (VC) and ~~Standish Corner District (SCD)~~ Form Based Code Village Districts (FBCVD) Zoning Districts, subject to the use limitations contained in the Zoning Ordinance district regulations and subject to the Planning Board making a positive finding that the conservation subdivision will achieve one or more of the following purposes:

(a) Long-term protection and conservation of existing natural and other resources and landscapes as may be identified on the Town of Standish Cultural and Historic Resources, Habitat Analysis, Natural Resources, Scenic and Recreational Resources or Water Resources Maps prepared by Bill Duffy of Northern Geomantics of varying dates in 2008 to 2009 or in the Comprehensive Plan, including, but not limited to:

- [1] State-defined critical areas, and unique natural features located on the parcel to be subdivided;
- [2] Historic land use patterns and historic structures;

[3] Points of visual access to or from water bodies, scenic vistas, and points of access to water bodies;

[4] Contiguous stands of mature trees; or

[5] Other significant open space areas.

(b) Preservation of sustainable jobs and traditional rural land uses such as farming and forestry.

(c) Provision of adequate buffers from exiting Town roads and adjoining properties where needed.

(d) Contribution to Town-wide open space planning by creating a system of permanently preserved open spaces, both within large parcels of land and among such parcels throughout the Town, and by encouraging the creation of linkages between open space areas.

(e) Conservation of land suitable or actively used for agriculture and forestry uses, particularly where the conservation subdivision borders active agricultural or forestry land or land suitable for the same.

(f) Maintenance or establishment of compatibility with surrounding land uses and the overall rural character of the Town.

(g) Creation of choices in the type of uses and type of housing available that will be a long-term asset to the Town of Standish, including home-based businesses as may be allowed by this Part 1.

(h) Provide for recreation facilities, including active and passive recreational space, in the most suitable locations.

(2) A preapplication conference shall be required as set forth in § **181-77E**, as may be amended from time to time.

(3) Preliminary and final plan review for conservation developments shall be the same as found in the Town's subdivision regulations, including §§ **181-74** through **181-87**, as may be amended from time to time.

(4) For purposes of this section, the tract or parcel of land involved must be either in single ownership, or the subject of an application filed jointly by the owners of all of the property involved.

B. Maximum density and open space.

(1) Number of allowable units. The maximum number of residential units allowed shall be calculated by the following formula:

Total Dwelling Units (TU) Allowed = Total Parcel (TP) minus 5% for street right-of-way reduction minus Unbuildable Area (UA) divided by Minimum Lot Size (MLS)

$$TU = [(TP \times 0.95) - UA] / MLS$$

TU = Total Units Allowed (dwelling units)

TP = Total Parcel (acres)

UA = Unbuildable Area (acres)

MLS = Minimum Lot Size (acres)

Note: When the cumulative total of all road right-of-way of any proposed subdivision exceeds 5% of the total parcel area within the subdivision, then the above calculations shall be modified to reduce the total parcel area by the actual percentage of proposed road right-of-way.

Note: When the total units allowed contains a fractional unit, then the total units may be rounded to nearest whole number, e.g., 3.55 units may be rounded up to four units.

(2) Density bonus. The Planning Board shall grant a density bonus to a developer who proposes one or more of the following as a component of the conservation subdivision, in accordance with the following criteria:

(a) Public access to usable open space provided by the developer acceptable to the Town such as, but not limited to, public access trails, recreation areas or water bodies, or dedication of land to the Town to meet a public purpose. This provision shall not be met by offerings or dedication of land for roads, utilities and similar facilities serving the development. This bonus shall also require the construction of a multi-use trail system that may include biking, jogging, walking, snowmobiling, ATV and cross-country skiing uses, within a thirty-foot-wide easement that connects to all property

abutters. This public trail access easement shall be held by a public entity acceptable to the Planning Board. The density bonus for this component is a ten-percent increase in the total units allowed.

(b) Preservation of environmental qualities by maintaining a minimum one-hundred-foot-wide vegetative buffer between development and first-order streams, wetlands, wildlife habitat corridors and vernal pools. The density bonus for this component is a ten-percent increase in the total units allowed.

(c) Preservation of rural character by creating a total conservation area greater than 65% of the development's entire parcel land area, imposing a permanent conservation easement on said total conservation area or permanently dedicating said total conservation area as open space. Any such designated open space shall contain: farm fields, historic buildings or sites, roadside vistas, and preserve other resources depicted on the Town of Standish Cultural and Historic Resources, Habitat Analysis, Natural Resources, Scenic and Recreational Resources or Water Resources Maps prepared by Bill Duffy of Northern Geomatics of varying dates in 2008 to 2009. The density bonus for this component is a ten-percent increase in the total units allowed.

(d) Extension of public water supply infrastructure to all building lots to be developed within the proposed subdivision. The density bonus for this component is a ten-percent increase in the total units allowed.

C. Open space.

(1) Open space set aside. The minimum amount of designated open space that shall be set aside shall be determined by the following formula:

Minimum Open Space Set Aside = Total Parcel minus Primary Conservation Areas multiplied by Open Space Percentage then added to Primary Conservation Areas

$$TO = ((TP - PC) \times OSP) + PC$$

TO = Minimum Total Open Space Set Aside (acres)

TP = Total Parcel (acres)

PC = Primary Conservation Areas (acres)

OSP = Open Space Percentage (% of Buildable Area)

(2) The designated open space shall include at least 60% of the buildable area for projects in the Rural (RU) and Rural Residential (RR) Districts, at least 35% of the buildable area for projects in the Sebago Lake Village District, and at least 10% of the buildable area for projects in the Residential (R), Village Center (VC) and Standish Corner (SCD) Districts. Any land not suitable for development that is included within the designated open space shall not be counted toward this 60% or 10% requirement.

(3) Open space areas shall be contiguous, where possible, to allow linking of open space areas throughout the Town.

(4) The Planning Board may limit the use of any open space at the time of final plan approval where the Planning Board deems it necessary to protect adjacent properties or uses, or to protect sensitive natural features or resources. A proposed change in use of designated open space, other than that specified at the time of plan approval, shall be reviewed by the Planning Board as an amendment to the approved plan.

(5) Structures and buildings accessory to agriculture, recreation or conservation uses may be erected in designated open space, subject to prior Planning Board approval of these provisions for conservation developments.

D. Design standards.

(1) The following design objectives for location of lots and designated open space shall be achieved to the greatest extent feasible in the following prioritized order:

(a) Within the Rural (RU) and Rural Residential (RR) Districts:

[1] Primary conservation areas in designated open space.

[2] Lots on or with access to suitable soils for subsurface wastewater disposal if no public sewer system.

[3] Lots within woodlands or, if that is not possible, along far edges of open fields preferably adjacent to woodlands (to enable new construction to be absorbed by natural landscape features).

[4] Lots where scenic views from public roadways, as may be identified on the Town of Standish Scenic and Recreational Resources Map prepared by Bill Duffy of Northern Geomantics and dated November 25, 2008, are least likely to be interrupted and, where appropriate, the creation of agricultural fields to clear vistas from public roads.

[5] Essential habitats of rare, threatened or endangered wildlife and rare or exemplary plants and natural communities, as may be identified on the Town of Standish Habitat Analysis Map or Natural Resources Map prepared by Bill Duffy of Northern Geomantics and dated November 25, 2008, and May 20, 2009, respectively, in designated open space.

[6] Stream corridors and wildlife travel corridors with respective vegetative buffers of 100 feet and 300 feet width in designated open space.

[7] Preservation of cultural features of the rural landscape, including significant trees, stone walls, tree lines, and, when feasible, historic farmhouses and outbuildings. Significant trees, tree lines, stone walls and important natural features not included within designated open space should be incorporated along the edges of individual lots or along a path or road, rather than transected by lot lines or a roadway.

[8] High-value plant and animal habitat areas, as may be identified on the Town of Standish Habitat Analysis Map or Natural Resources Map prepared by Bill Duffy of Northern Geomantics and dated November 25, 2008, and May 20, 2009, respectively, in designated open space.

[9] Contiguous, usable area for agriculture or sustainable wood lot production in designated open space.

[10] Lots where linkage with nearby open space on other properties is not blocked, and, when possible, where continuous corridors of natural vegetation are protected in alignment with any adopted local or regional open space plan.

[11] Lots avoid slopes exceeding 20% and tops of ridgelines.

[12] Lots avoid natural drainageways.

[13] Prime farmland soils and agricultural soils of state-wide importance as defined by USDA in designated open space.

[14] Lots where greatest number of units could take maximum advantage of solar heating opportunities, provided there is no or minimal conflict with other objectives.

(b) Within the Residential (R), Village Center (VC) and Standish Corner (SCD) Districts:

[1] Primary conservation areas in designated open space.

[2] Preservation of cultural features of the village landscape, including stone walls, tree lines, and, when feasible, historic items/structures of historic interest/importance as may be identified on the Town of Standish Cultural and Historic Resources Map prepared by Bill Duffy of Northern Geomantics and dated November 25, 2008.

[3] Lots where linkage with nearby open space on other properties is not blocked, and when possible, where continuous corridors of natural vegetation are protected in alignment with any adopted local or regional open space plan.

[4] Lots within woodlands contained in the parcel or, if that is not possible, along far edges of open fields preferably adjacent to woodlands (to enable new construction to be absorbed by natural landscape features).

[5] Lots where scenic views from public roads, as may be identified on the Town of Standish Scenic and Recreational Resources Map prepared by Bill Duffy of Northern Geomantics and dated November 25, 2008, are least likely to be blocked or interrupted.

[6] Lots where buildings will not interfere with solar access of other properties.

[7] Lots where greatest number of units could be designed to take maximum advantage of solar heating opportunities.

(c) Within the Sebago Lake Village District:

[1] Primary conservation areas in designated open space.

[2] Stream corridors and wildlife travel corridors with respective vegetative buffers of 50 feet and 150 feet width in designated open space.

[3] Lots avoid natural drainageways.

[4] Lots and roads located on the portion of the parcel that is not within the watershed of Sebago Lake where feasible.

[5] Lots on or with access to suitable soils for subsurface wastewater disposal if no public sewer system.

- [6] Preservation of cultural features of the village landscape, including stone walls, tree lines, and, when feasible, historic items/structures of historic interest/importance as may be identified on the Town of Standish Cultural and Historic Resources Map prepared by Bill Duffy of Northern Geomantics and dated November 25, 2008.
- [7] Lots where linkage with nearby open space on other properties is not blocked, and when possible, where continuous corridors of natural vegetation are protected in alignment with any adopted local or regional open space plan.
- [8] Lots within woodlands contained in the parcel or, if that is not possible, along far edges of open fields preferably adjacent to woodlands (to enable new construction to be absorbed by natural landscape features).
- [9] Lots where scenic views from public roads, as may be identified on the Town of Standish Scenic and Recreational Resources Map prepared by Bill Duffy of Northern Geomantics and dated November 25, 2008, are least likely to be blocked or interrupted.
- [10] Lots where buildings will not interfere with solar access of other properties.
- [11] Lots where greatest number of units could be designed to take maximum advantage of solar heating opportunities.

(2) The following design objectives for the location of buildings on lots to be developed in a conservation development shall be achieved to the greatest extent feasible in the following prioritized order:

- (a) On buildable land.
 - (b) In locations that protect cultural/historic sites, structures of historic importance, habitat/high-value habitat and other resources as may be identified on the Town of Standish Cultural and Historic Resources, Habitat Analysis, Natural Resources, Scenic and Recreational Resources or Water Resources Maps prepared by Bill Duffy of Northern Geomantics of varying dates in 2008 to 2009 or in the Comprehensive Plan.
 - (c) When protecting agricultural areas; in the least suitable agricultural soils and in a manner that maximizes the usable area remaining for the designated open space use, where agricultural, forestry, or recreational, existing or future uses, are particularly sought to be preserved.
 - (d) In locations least likely to block or interrupt scenic, historic, and traditional land use views, as seen from public roadways and great ponds.
 - (e) Within woodlands, or along the edges of open agricultural fields adjacent to any woodland to reduce encroachment upon agricultural soils, to provide shade in the summer, and shelter as well as solar gain in the winter, and to enable new residential development to be visually absorbed by natural landscape features.
 - (f) In such manner that the boundaries between residential or business lots and active agricultural or forestry land are well buffered by vegetation, topography, roads, or other barriers to minimize potential conflict between residential or business and agricultural or forestry uses.
 - (g) In locations where buildings may be oriented with respect to scenic vistas, natural landscape features, topography, and natural drainage areas, in accordance with an overall plan for site development.
 - (h) In locations that provide compatibility in terms of physical size, visual impact, intensity of use, proximity to other structures, and density of development with other permitted uses within the land use district.
 - (i) So that individual lots, buildings, street and parking areas shall be designed and situated to minimize alterations of the natural site, to avoid the adverse effects of shadows, noise and traffic on the residents of the site, to conserve energy and natural resources, and to relate to surrounding properties, to improve the view from and of buildings.
- (3) Developers are encouraged to use new construction that is architecturally compatible with items/structures of historical interest in the community or region, such as those cultural and historic features as may be identified on the Town of Standish Cultural and Historic Resources Map prepared by Bill Duffy of Northern Geomantics and dated November 25, 2008.

E. Other standards.

- (1) Minimum lot size. Notwithstanding any other provision of this Part 1 relating to minimum lot size, the Planning Board, in reviewing and approving proposed conservation developments, may modify said provisions related to minimum lot size to permit innovative approaches to housing and environmental design; provided, however, that lots located within the Shoreland Zone shall comply with the minimum lot size requirements of the Shoreland Zoning Ordinance, *Editor's Note: See Ch.237, Shoreland Zoning*, as applicable, and lots located outside the Shoreland Zone shall not have their minimum lot size reduced to

less than 20,000 square feet. This subsection shall not be construed as granting variances to relieve hardship or practical difficulties.

(2) Frontage.

(a) Street frontage. Notwithstanding any other provision of this Part 1 relating to minimum frontage, the Planning Board, in reviewing and approving proposed conservation developments, may modify said provisions related to minimum frontage to permit innovative approaches to housing and environmental design; provided, however, that the minimum frontage shall not be reduced to less than 50 feet and there must be adequate access and turnaround to and from all lots by fire trucks, ambulances, police cars and other emergency vehicles. This subsection shall not be construed as granting variances to relieve hardship or practical difficulties.

(b) Shore frontage. Shore frontage requirements shall not be reduced below the minimum shore frontage required by the Shoreland Zoning Ordinance. *Editor's Note: See Ch. 237, Shoreland Zoning.*

(3) Minimum setbacks.

(a) Notwithstanding any other provision of this Part 1 relating to minimum setbacks, the Planning Board, in reviewing and approving proposed conservation developments, may modify said provisions related to minimum setbacks to permit innovative approaches to housing and environmental design; provided, however, that the Planning Board shall not reduce the minimum side and rear setback requirement to less than 10 feet and shall not reduce the minimum front setback requirement to less than 20 feet. This subsection shall not be construed as granting variances to relieve hardship or practical difficulties.

(b) Shore setback requirements shall not be reduced below the minimum shore setback required by the Shoreland Zoning Ordinance.

(4) Lot width. Notwithstanding any other provision of this Part 1 relating to minimum lot width, the Planning Board, in reviewing and approving proposed conservation developments, may modify said provisions related to minimum lot width to permit innovative approaches to housing and environmental design; provided, however, that the Planning Board shall not reduce the minimum lot width requirement to less than 50 feet. This subsection shall not be construed as granting variances to relieve hardship or practical difficulties.

(5) Buffer between existing roads and building lots. Notwithstanding any other provision of this Part 1, a minimum one-hundred-foot area of designated open space shall separate proposed building lots and existing roads.

F. Open space ownership, use and maintenance.

(1) Ownership. The open space shall be owned, preserved and maintained as required by this subsection by any of the following mechanisms or combinations thereof:

(a) Dedication of open space to the Town of Standish or a suitable land trust, if either is willing to accept the dedication. Evidence that either the Town or a suitable land trust is willing to accept the dedication must be provided to the Planning Board prior to final plan approval.

(b) Dedication of development rights of open space to a suitable land trust with ownership by a private individual or homeowners' association.

(c) Ownership of the open space by a homeowners' association that assumes full responsibility for its maintenance with open space protection deed restrictions enforceable by any landowner in the subdivision, any owner of separate land parcels abutting the open space, or the Town.

(d) Ownership by a private individual with open space protection deed restrictions enforceable by any land owner within the subdivision, any owner of separate land parcels abutting the open space, or the Town. This option may apply only if open space is part of an existing farm, working or not, if there is a future intent to farm by the owner and no land trust is willing to accept dedication of development rights of the open space.

A draft perpetual conservation easement, deed of conveyance or declaration of covenants and restrictions, permanently restricting development of the designated open space, must be included in the conservation development application. Any such dedication or conveyance shall be reviewed by the Town Attorney for legal sufficiency at the applicant's expense.

The deed or other appropriate legal instrument restricting development of the designated open space shall be recorded in the Cumberland County Registry of Deeds prior to or simultaneously with the filing of the conservation subdivision development final plan in said registry.

(2) Use. The use of the designated open space within the subdivision shall be limited to uses for passive recreation, or other passive outdoor activities, agriculture, forest management or individual or group septic systems, and for preserving the natural features of the site except concerning open space contiguity as provided in Subsection (C)(3) above. Potential uses (e.g., farming) may be by the subdivider, owners, residents or a lessee. The designated open space shall be accessible to the owners or residents of the development, subject to any necessary limitations in connection with the uses of the land (e.g., farming) that may be permitted. The use of any open space may be further limited or controlled at the time of final subdivision approval as necessary to protect adjacent properties.

(3) Management plan. The designated open space shall be managed according to a management plan for the designated open space and facilities approved by the Planning Board, which includes, at a minimum, the following:

(a) Identifies the entity assuming responsibility for stewardship and management of the designated open space, including regular inspections to confirm continued compliance with the terms of the subdivision approval and conservation easement or deed restrictions.

(b) Includes detailed standards and schedules for maintenance of the designated open space, including maintenance of vegetation.

(c) Allows for third-party maintenance in the event that the maintenance specified under the agreement is not completed and recovery of costs incurred from the designated management entity or the owners of the designated open space within the subdivision.

(d) Provides that any amendments to the plan shall be reviewed and approved by the Planning Board.

(e) Prior to the commencement of any timber harvesting, a forest management plan as defined by 36 M.R.S.A. § 573(3-A), as may be amended from time to time, shall be submitted to the Planning Board. The plan must be prepared by a licensed professional forester or a landowner and be reviewed and certified by a professional forester.

(4) Homeowners' association. If a homeowners' association is to own the designated open space, it shall be incorporated by the developer prior to final subdivision approval. Covenants for mandatory membership in the association shall be approved by the Planning Board and included in the deed for each lot or unit. Draft bylaws of the proposed homeowners' association specifying the responsibilities and authority of the association, the operating procedures of the association and providing for proper capitalization of the association to cover the costs of major repairs, maintenance and replacement of common facilities shall also be subject to Planning Board approval. In addition, homeowners' association documents and draft deeds shall be reviewed by the Town Attorney for legal sufficiency at the applicant's expense. The association's documents shall specify that:

(a) The association shall have the responsibility of maintaining the designated open space and other private facilities dedicated to the use in common by the development's resident.

(b) The association shall levy annual charges against all property owners to defray the expenses, if any, connected with maintenance and replacement of the common open spaces and facilities.

(c) The association shall have the power to place a lien on the property of members who fail to pay dues or assessments.

(d) The developer shall maintain control of designated open spaces and facilities and be responsible for their maintenance until at least 51% of the development lots or units have been conveyed, with evidence of such completion and sales submitted to an approved by the Planning Board.

G. Plan notations/requirements.

(1) The preliminary and final subdivision plan shall show total number of allowable lot calculations, any density bonus calculations, and open space set-aside calculations.

(2) The final plan shall bear the following notation: "This subdivision was approved as a conservation subdivision development pursuant to § **181-27.1** of the Zoning Ordinance, as may be amended from time to time. Uses on the lots are limited solely to those single-family residential uses that do not require a site plan review, excepting that home occupations as approved by the Planning Board may be permitted. Any lot to be improved with a dwelling unit shall be deed restricted from further subdivision."

(3) The designated open space shall be shown on the final plan with the following notation: "Designated open space shall not be further subdivided or used for future building lots."

(4) The following areas shall be shown on the final plan: boundaries of designated open space areas; active recreation areas, if any; agricultural areas; and naturally, undisturbed vegetated areas. If public access is to be allowed, those areas are to be clearly marked in the field with signage approved by the Planning Board so as to distinguish between public access areas and nonpublic access areas.

(5) The designated open space shall be labeled on the final plan as to its use or uses with respect to the portions of the open space that such use or uses apply, ownership, management, method of preservation, and the rights, if any, of the owners in the subdivision to such land or portions thereof. The final plan shall clearly show that the open space land is permanently reserved for open space purposes, indicating if possible the Registry of Deeds recording citation of any conservation easement or deed restrictions required to be recorded to implement such reservations or restrictions.

● ● ●

§ 181-28. Elderly housing.

A. Purpose; administration.

(3) Within the Standish Corner District, the Town Residential SCD street frontage type standards for the front required build-to-line, block length and SCD streetscape standards shall inform the layout of buildings and SCD streetscape elements in the design of elderly housing developments. [Added 6-7-2011]

● ● ●

C. Standards. Notwithstanding any other provision of Chapter 181 to the contrary:

(6) The dwelling units shall be clustered in buildings of no less than four units per structure and be in conformance with the following calculation of density:

(a) Village Center zone and ~~Standish Corner District~~ Form Based Code Village Districts: 10,000 square feet of net residential acreage is required per one-bedroom dwelling unit, and 16,000 square feet of net residential acreage is required per two-bedroom dwelling unit. [Amended 6-7-2011]

§ 181-28.1. Village Housing.

A. Purpose; administration.

(1) The purpose of this section is to provide an additional density of residential housing units within the ~~Standish Corner District~~ Form Based Code Village Districts and to provide for a village-scaled development pattern (Village Housing) with no restrictions on age. Village Housing developments are only allowed in ~~Standish Corner District~~ Form Based Code Village Districts.

(2) Plan review for Village Housing developments shall be the same as found in the Town's site plan and subdivision regulations, as may be amended from time to time.

B. Elements.

(1) The applicant shall submit a formal application for review and approval of the project to the Planning Board in accordance with the requirements of the Town's site plan and subdivision regulations, as may be amended from time to time.

(2) The material accompanying the proposal shall contain all elements required by the Town's site plan and subdivision regulations, as may be amended from time to time, as well as the following:

(a) The required plan shall show all building envelopes and areas of proposed driveway entrances at a scale sufficient to permit the study of all elements of the plan.

(b) All utilities shall be shown and described.

(3) The plan shall be labeled "Subdivision and Site Plan for Village Housing" and shall provide both a block for recording at the Cumberland County Registry of Deeds and an approval block for the signatures of a legal majority of the Planning Board.

(4) The ~~Town Residential SCD~~ applicable street frontage type standards for the front required build-to-line, block length and ~~SCD FBCVD~~ streetscape standards shall inform the layout of buildings and ~~SCD FBCVD~~ streetscape elements in the design of Village Housing developments.

C. Standards. Notwithstanding any other provision of Chapter 181 to the contrary:

- (1) Each building in the Village Housing development shall contain no fewer than four dwelling units and no more than 48 dwelling units.
- (2) Each dwelling unit shall consist of a bedroom, full bathroom, kitchen and sitting area, as a minimum, and shall have no more than two bedrooms.
- (3) Each building shall be no more than two stories in height for new construction.
- (4) Each development shall contain a community meeting area to be used by the residents of the development.
- (5) Each development shall contain on-site laundry facilities.
- (6) The dwelling units shall be clustered in buildings of no less than four units per structure and be in conformance with the following calculation of density:
 - (a) Ten thousand square feet of net residential acreage is required per one-bedroom dwelling unit, and 16,000 square feet of net residential acreage is required per two-bedroom dwelling unit.
 - (b) For the purposes of this section, the area required for streets or access in the determination of net residential acreage shall be defined as 5% of the gross area or the actual impervious area of the parking areas and access ways, whichever is greater. Net residential area calculations shall be shown on the final plan.
- (7) Each development shall conform to the following vegetated buffer requirement:
 - (a) Developments that contain only one-story structures shall retain or create a fifty-foot continuous vegetative buffer to the front, each side, and rear of the improved areas of the development.
 - (b) Developments that contain two-story structures shall retain or create a one-hundred-foot continuous vegetative buffer to the front and a fifty-foot continuous vegetative buffer to each side and rear of the improved areas of the development.
- (8) Underground utilities shall be required for new construction.

§ 181-33. Manufactured housing units.

A. Manufactured housing units which are placed on lots outside of mobile home parks must:

- (4) Mobile home parks are not allowed in ~~Standish Corner District~~ Form Based Code Village Districts. [Added 6-7-2011]

§ 181-34. Access limitations. [Amended 6-7-2011]

Any lot created after the effective date of this section, as part of a subdivision as defined by the Town of Standish and State of Maine, shall have its required road frontage on a way other than Route Nos. 25, 35, 113 or 114 unless the Planning Board determines that conditions particular to a parcel justify a waiver from this requirement. In ~~Standish Corner District~~ Form Based Code Village Districts, required new frontage shall meet the frontage requirements for the applicable ~~SCD FBCVD~~ street frontage type. A waiver shall be granted only if there will be no further subdivision of the parcel and one of the following criteria is met:

- A. There is too little road frontage to reasonably allow for the creation of a new way.
- B. The shape or physical condition of the parcel does not permit access to or creation of a way.

§ 181-35.2. Home occupation levels.

A home occupation is one that is performed accessory to a residential use and is customarily carried on in a dwelling unit. The use shall be carried on by a family member of a household residing in the dwelling unit and must be clearly incidental and secondary to the primary use of the dwelling unit for residential purposes. The following conditions must be met and maintained:

§ 181-35.2.1. Home Occupation Level 1.

- C. There shall be no exterior display, no exterior sign; provided, however, that in the ~~Standish Corner District~~ Form Based Code Village Districts, a two-square-foot-in-area wall-mounted sign at the first floor building entrance is allowed. No exterior storage of material nor other exterior indication of the home occupation or variation from the residential character of the principal building. [Amended 6-7-2011]

● ● ●

- G. The home occupation shall not utilize more than 15% of the total floor area of the dwelling unit; provided, however, that in ~~Standish Corner District Form Based Code Village Districts~~, it shall not utilize more than 50% of the total floor area of the dwelling unit and requires prior approval of the Code Enforcement Officer. [Amended 6-7-2011]

§ 181-35.2.2. Home Occupation Level 2.

[Amended 11-12-2003 by Order No. 114-03]

Same conditions as Home Occupation Level 1, except that:

- B. Not more than two people outside the home shall be employed in the home occupation. Not more than one of the non-household employees shall be actively working on the property at any one time; provided, however, that in the ~~Standish Corner District Form Based Code Village Districts~~, not more than two of the non-household employees shall be actively working on the property at any one time. For the purposes of Home Occupation Level 2, persons living in a family apartment shall not be considered to be living in the household/dwelling unit. [Amended 6-7-2011]

- C. Any sign must meet standards contained in this Part 1; provided, however, that in ~~Standish Corner District Form Based Code Village Districts~~, a two-square-feet-in-area wall-mounted sign at the first floor building entrance is allowed. [Amended 6-7-2011]

● ● ●

- G. Planning Board site plan review and approval is required; provided, however, that in the ~~Standish Corner District Form Based Code Village Districts~~, only Code Enforcement Officer review and approval is required. [Amended 6-7-2011]

§ 181-35.2.3. Home Occupation Level 3. [Amended 11-12-2003 by Order No. 114-03]

Same conditions as Home Occupation Level 2, except that:

● ● ●

- C. Any sign must meet standards contained in this Part 1, provided that the total sign area does not exceed eight square feet in area; provided further, however, that in the ~~Standish Corner District Form Based Code Village Districts~~, only a four-square-foot wall-mounted sign at the first floor building entrance is allowed. [Amended 6-7-2011]

- D. The home occupation shall not utilize more than 35% of the total floor area of the dwelling unit or principal structure; provided, however, that in the ~~Standish Corner District Form Based Code Village Districts~~, it shall not utilize more than 50% of the total floor area of the dwelling unit or principal structure. [Amended 6-7-2011]

- E. For home occupations located outside ~~Standish Corner District Form Based Code Village Districts~~, and comprising more than 20% of the principal structure: [Amended 6-7-2011]

- (1) The minimum lot size specified for the district must be increased 30%;
- (2) Setbacks from directly abutting residential lots must be doubled; and
- (3) The number of commercial parking spaces specified in this Part 1 must be provided directly behind the principal structure.

- H. Planning Board site plan review and approval is required; provided, however, that in ~~Standish Corner District Form Based Code Village Districts~~, only Code Enforcement Officer review and approval is required. [Amended 6-7-2011]

§ 181-35.3. Home retail sales.

● ● ●

- C. All home retail sales must meet and maintain the following standards:

- (1) All necessary approvals for the appropriate level of home occupation must be obtained.
- (2) The home occupation is accessory to residential use on the property and is customarily carried on by a member of the family residing in the dwelling unit and clearly incidental and secondary to the use of the dwelling unit for residential purposes.
- (3) The home retail sales shall occur in the residence or in an accessory building, attached or detached, on the same parcel.
- (4) A conforming lot is required for home retail sales. (See definition.)
- (5) The maximum total display area is 600 square feet. This display area may be in addition to the maximum square footage allowed to be utilized for the home occupation.
- (6) The maximum total outdoor display area is to be 200 square feet in area, except on Town Center, Town Avenue and Town Residential SCD street frontage types in the Standish Corner District, where outdoor display and sale is not allowed. Any outdoor display area shall be considered part of the total display area. Any outdoor display area shall be located on the parcel

and within the property boundaries. In no event shall any part of the outdoor display be located within the public right-of-way for a street or road. [Amended 6-7-2011]

§ 181-35.4. Tradesman. [Amended 11-12-2003 by Order No. 114-03]

Any occupation or profession which is accessory to a residential use and is customarily carried on in a building or other structure accessory to a dwelling unit and carried on by a member of the family residing in the dwelling unit that meets and maintains the following conditions:

● ● ●

- D. Any sign must meet standards contained in this Part 1, provided that the total sign area does not exceed eight square feet in area; provided further, however, that in the ~~Standish Corner District~~ Form Based Code Village Districts, only a four-square-feet-in-area wall-mounted sign at the first floor building entrance is allowed. [Amended 6-7-2011]

Part 2 Site Plan Review

ARTICLE XI Review Required; Procedure

§ 181-69. Approval by Planning Board. [Amended 6-2-1998 by Order No. 45A-98; 3-12-2002 by Order No. 10-02; 6-7-2011]

Purpose: The Planning Board reviews site plan applications for impact on the health, safety and welfare of the community or impact on the economic value or right to quiet enjoyment of abutters or neighbors. Site plan reviews are accomplished through application of the land use impact standards as set forth in § 181-73, Standards and conditions for approval, and the applicable ~~SCD FBCVD~~ street frontage type standards if the development is in a ~~Standish Corner District~~ Form Based Code Village Districts.

§ 181-69.1. Preapplication conference. [Added 6-7-2011]

- A. If the proposed project is located within a ~~Standish Corner District~~ Form Based Code Village District and requires Planning Board review and approval, the developer shall meet with the Town Planner to review the required Town permitting process and standards for the ~~Standish Corner District~~ Form Based Code Village District in which it is located. The Town Planner shall assist the developer with understanding the key components of the District, including the creation of mixed-use, interconnected, and walkable neighborhoods meeting the building and ~~SCD FBCVD~~ streetscape standards of the applicable ~~SCD FBCVD~~ street frontage type(s).
- B. If the project is on a parcel that shall be subdivided and has existing ~~SCD FBCVD~~ street frontage, the Town Planner shall provide the developer with examples of a conceptual Connectivity Master Plan meeting the standards of the applicable ~~SCD FBCVD~~ street frontage type(s) and other applicable aspects of the ~~Standish Corner District~~ Form Based Code Village District. The conceptual Connectivity Master Plan is the basis for establishing the form and pattern of development within the ~~Standish Corner District~~ Form Based Code Village Districts, and approval of such a Connectivity Master Plan is a requirement of site plan approval.

● ● ●

§ 181-70. Procedure for submission and review.

[Amended 2-10-2004 by Order No. 215-03; 9-13-2005 by Order No. 94-05; 10-10-2006 by Order No. 90-06]

The following procedure will govern the submission and review of all required site plans:

● ● ●

- J. For development within a ~~Standish Corner District~~ Form Based Code Village District, the Town Planner shall provide the

developer with examples of a conceptual Connectivity Master Plan meeting the standards of the applicable ~~SCD FBCVD~~ street frontage type(s) and other applicable aspects of the ~~Standish Corner District Form Based Code Village District~~. The approved conceptual Connectivity Master Plan is the basis for the form and pattern of land division within the ~~Standish Corner District Form Based Code Village District~~, and approval of such a Connectivity Master Plan is a requirement of site plan approval. The Connectivity Master Plan shall outline the proposed development, together with its street system, and provide an indication of the future probable street system of the remaining portion of the tract, if the plan submitted covers only part of the applicant's entire property holding. The Connectivity Master Plan shall be referenced in the Planning Board site plan approval. The Connectivity Master Plan shall reserve these future rights-of-way for use as a street, and a copy shall be recorded in the Cumberland County Registry of Deeds with the approved site plan. [Added 6-7-2011]

● ● ●

§ 181-71.1. Elements of preliminary plan.

[Amended 10-14-2003 by Order No. 138-03; 10-10-2006 by Order No. 90-06]

The preliminary site plan and associated plans detailing all on-site and off-site improvements made necessary by the project shall be drawn to a scale of not less than one inch equals 50 feet and shall contain the following:

● ● ●

- I. The location and dimension of pedestrian accessways. Within a ~~Standish Corner District Form Based Code Village District~~, show the location of the required reserved right-of-way or proposed driveways or ~~SCD FBCVD~~ street connecting the project to all adjacent parcels, adjacent parking lots or existing roads. [Amended 6-7-2011]

● ● ●

§ 181-73. Standards and conditions for approval.

[Amended 12-9-2003 by Order No. 194-03; 10-10-2006 by Order No. 89-06; 10-10-2006 by Order No. 90-06; 6-7-2011]

No preliminary or final site plan shall be approved unless, in the judgment of the Planning Board, the applicant has proven that the plan meets all of the following standards.

● ● ●

- M. Within ~~Standish Corner District Form Based Code Village Districts~~, the plan must meet all of the following additional standards:
 - (1) The proposed development complies with the regulating plan and the applicable ~~SCD FBCVD~~ street frontage type standards within the ~~Standish Corner District Form Based Code Village Districts~~.
 - (2) The proposed development, both public and/or private buildings and landscaping, contributes to the physical definition of

rights-of-way as civic spaces within the ~~Standish Corner District~~ Form Based Code Village Districts.

- (3) The proposed development adequately accommodates automobiles, while respecting the pedestrian and spatial form of public areas within the ~~Standish Corner District~~ Form Based Code Village Districts.
- (4) If the lot to be developed shall be divided from a greater parcel, access to the parcel, or the "Pioneer Lot" (See conceptual Connectivity Master Plan in § 181-7.1.), shall be from an allowable ~~SCD~~ FBCVD street frontage type perpendicular to the existing ~~SCD~~ FBCVD street or arterial. Existing curb cuts are allowed to be continued to be used by existing uses. For new use(s) where the closure of the curb cut is triggered by the conditions of approval, standards contained within Chapter 252 (Streets and Sidewalks) or by Planning Board supplemental review, the perpendicular ~~SCD~~ FBCVD street shall be built to the minimum block length and other ~~SCD~~ FBCVD street frontage type standards and serve both as access to the parking area for the development as well as for parking for the development. The applicant shall build the perpendicular ~~SCD~~ FBCVD street to the required standards and provide for maintenance of the same until such time that the road is accepted by the Town as a street.
- (5) Provisions shall be made for phased construction such as conduit extensions and stubs. This information shall be located and noted on the approved site plan recorded in the Cumberland County Registry of Deeds.
- (6) Underground utilities.
 - (a) On new frontage type ~~SCD~~ FBCVD streets, utilities shall be buried.
 - (b) All developments shall be served by public water.
 - (c) Except for existing SCD Town Center ~~SCD~~ street frontage type, the requirements for buried utilities and the provision for a project to be served by water can be waived by the Planning Board if the applicant can demonstrate all of the following:
 - [1] The project is more than 2,000 feet in road distance from an existing public water line; and
 - [2] Subsurface conditions, such as ledge, make the extension of waterlines or buried utilities cost prohibitive.
 - (d) When a waiver for requirements of buried utilities is granted by the Planning Board, the following additional standards shall be met:
 - [1] All newly created lots shall be greater than 60,000 square feet each in area and contain a minimum of 175 feet of frontage; and
 - [2] The aboveground utilities shall be placed behind buildings facing the ~~SCD~~ FBCVD street minimizing visual impacts and interference with ~~SCD~~ FBCVD streetscapes.
 - (e) Provisions shall be made for phased construction such as conduit extensions and stubs. This information will be located and noted on an approved site plan and recorded in the Cumberland County Registry of Deeds.

● ● ●

Part 3 Subdivision Regulations

ARTICLE XV Preliminary Plan

§ 181-77. Preapplication conference.

● ● ●

D. Within a ~~Standish Corner District~~ Form Based Code Village District, the following additional procedures apply: [Added 6-7-2011]

- (1) The developer shall meet with the Town Planner to review the required permitting process and standards for the ~~Standish Corner District~~ Form Based Code Village District. The Town Planner shall assist the developer with understanding the key components of the ~~Standish Corner District~~ Form Based Code Village District, including the creation of mixed-use, interconnected, and walkable neighborhoods meeting the applicable ~~SCD~~ FBCVD street frontage type(s).
- (2) For development within a ~~Standish Corner District~~ Form Based Code Village District, the Town Planner shall provide the developer with examples of a conceptual Connectivity Master Plan meeting the standards of the applicable ~~SCD~~ FBCVD street frontage type(s) and other applicable aspects of ~~Standish Corner District~~ Form Based Code Village Districts. The conceptual Connectivity Master Plan is the basis for the form and pattern of land division within the ~~Standish Corner District~~ Form Based Code Village Districts and approval of such a Connectivity Master Plan is a requirement of subdivision plan approval. The Connectivity Master Plan shall outline the proposed development, together with its street system, and provide an indication of the future probable street system of the remaining portion of the tract, if the plan submitted covers only part of the applicant's entire property holding. The Connectivity Master Plan shall be referenced in the Planning Board subdivision approval. The Connectivity Master Plan shall reserve these future rights-of-way for use as a street, and a copy shall be recorded in the Cumberland County Registry of Deeds with the approved subdivision plan.

● ● ●

§ 181-79. Location map.

Location map. The preliminary plan shall be accompanied by a location map, drawn at a scale of not over 500 feet to the inch, to show the relation of the proposed subdivision to the adjacent properties and to the general surrounding area. The preliminary plan shall show all the area within 1,000 feet of any property line of the proposed subdivision. Within such area the location map shall show:

● ● ●

- C. The boundaries and designations of zoning districts, future roadway system plans applicable to the ~~Standish Corner District~~ Form Based Code Village District and regulating plan, parks and other public spaces. [Amended 6-7-2011]
- D. An outline of the proposed subdivision, together with its ~~SCD~~ FBCVD street system, and an indication of the future probable ~~SCD~~ FBCVD street system of the remaining portion of the tract, if the preliminary plan submitted covers only part of the subdivider's entire holding. If the subdivision is located within ~~the Standish Corner District~~ a Form Based Code Village District, the preliminary plan shall be developed in accordance with a conceptual Connectivity Master Plan, meeting the standards of § 181-7.1 as well as the requirements of § 181-80. [Amended 6-7-2011]

§ 181-80. Information to accompany plan. [Amended 2-10-2004 by Order No. 215-03]

The preliminary subdivision shall be submitted in 12 copies of one or more maps or drawings which may be printed or reproduced on paper, with all dimensions shown in feet or decimals of a foot, drawn to a scale of 50 feet to the inch, except that if the subdivision includes 20 acres or more, the scale shall be 100 feet to the inch, showing or accompanied by the following information:

● ● ●

- D. The names of all subdivisions immediately adjacent and the names of owners of record of adjacent acreage. If the subdivision is located within ~~the Standish Corner District~~ a Form Based Code Village District, the preliminary plan shall be developed in accordance with a conceptual Connectivity Master Plan meeting the standards of § 181-7.1 as well as the requirements of § 181-80. [Amended 6-7-2011]
- E. The provisions of the Zoning Ordinance applicable to the area to be subdivided and any zoning district boundaries affecting the subdivision. If located in ~~the Standish Corner District~~ a Form Based Code Village District, provide a Connectivity Master Plan.

[Amended 6-7-2011]

● ● ●

- G. The location, names and present widths of existing and proposed streets, highways, easements, building lines, alleys, parks and other public open spaces. Within ~~the Standish Corner District~~ a Form Based Code Village District, provide the width and location of any ~~SCD FBCVD~~ streets within the area to be subdivided and on any adjacent properties, and the width, location, grades and ~~SCD FBCVD~~ street profiles of all ~~SCD FBCVD~~ streets or other public ways proposed by the subdivider. [Amended 6-7-2011]
- H. The width and location of any streets within the area to be subdivided and the width, location, grades and street profiles of all streets or other public ways proposed by the subdivider. Within ~~the Standish Corner District~~ a Form Based Code Village District, the layout of ~~SCD FBCVD~~ streets and lots shall conform to the applicable ~~SCD FBCVD~~ street frontage type for the property. [Amended 6-7-2011]

● ● ●

- R. The proposed lot lines with dimensions and suggested locations of buildings, except in ~~the Standish Corner District~~ a Form Based Code Village District where the building positions shall be located in more detail per the applicable ~~SCD FBCVD~~ street frontage type standards. [Amended 6-7-2011]

§ 181-85. Final approval and filing.

● ● ●

- D. For development within ~~the Standish Corner District~~ a Form Based Code Village District, the Town Planner shall provide the developer with examples of a conceptual Connectivity Master Plan meeting the standards of the applicable ~~SCD FBCVD~~ street frontage type(s) and other applicable aspects of the ~~Standish Corner District~~ Form Based Code Village District. The approved conceptual Connectivity Master Plan is the basis for the form and pattern of land division within the ~~Standish Corner District~~ Form Based Code Village Districts, and approval of such a Connectivity Master Plan is a requirement of subdivision plan approval. The Connectivity Master Plan shall outline the proposed development, together with its street system, and provide an indication of the future probable street system of the remaining portion of the tract, if the plan submitted covers only part of the applicant's entire property holding. The Connectivity Master Plan shall be referenced in the Planning Board subdivision plan approval. The Connectivity Master Plan shall reserve these future rights-of-way for use as a street, and a copy shall be recorded in the Cumberland County Registry of Deeds with the approved subdivision plan. [Amended 6-7-2011]

§ 181-95. Utilities.

The size, type and location of public utilities, such as streetlights, electricity, telephones, gas lines, fire hydrants, etc., shall be approved by the Board and installed in accordance with local practice.

- A. Within ~~the Standish Corner District~~ a Form Based Code Village District, underground utilities shall be required and governed as follows: [Added 6-7-2011]
- (1) On new frontage type ~~SCD FBCVD~~ streets, utilities shall be buried.
 - (2) All developments shall be served by public water.
 - (3) Except for existing SCD Town Center ~~SCD~~ street frontage type, the requirements for buried utilities and the provision for a project to be served by water can be waived by the Planning Board if the applicant can demonstrate all of the following:

- (a) The project is more than 2,000 feet in road distance from an existing public water line; and
 - (b) Subsurface conditions, such as ledge, make the extension of waterlines or buried utilities cost prohibitive.
- (4) When a waiver for requirements of buried utilities is granted by the Planning Board, the following additional standards shall be met:
- (a) All newly created lots shall be greater than 60,000 square feet each and contain a minimum of 175 feet of frontage; and
 - (b) The aboveground utilities shall be placed behind buildings facing the ~~SCD~~ FBCVD street minimizing visual impacts and interference with ~~SCD~~ FBCVD streetscapes.
- (5) Provisions shall be made for phased construction such as conduit extensions and stubs. This information will be located and noted on an approved subdivision plan and recorded in the Cumberland County Registry of Deeds.

§ 181-96. Street trees, esplanades and open spaces.

- A. Street trees, esplanades and open green spaces may be required at the discretion of the Planning Board and if subdivision is located in ~~the Standish Corner District~~ a Form Based Code Village District, shall be as required by the ~~SCD~~ FBCVD street frontage type standards. Where such improvements are required, they shall be incorporated in the final plan and executed by the subdivider as construction of the subdivision progresses. [Amended 6-7-2011]

§ 181-97. Required improvements.

The following are required improvements: monuments, street signs, streets, storm drainage and curbs and sidewalks, where required.

§ 181-97.1. Interior roads.

- A. The Planning Board shall require that any lot in a subdivision have its required frontage and access on an interior road constructed in accordance with applicable standards in Chapter 252 and when located within ~~the Standish Corner District~~ a Form Based Code Village District, per the applicable ~~SCD~~ FBCVD street frontage type standards. [Amended 6-7-2011]

● ● ●

- D. The Town of Standish shall not approve any construction or development of land within ~~the Standish Corner District~~ a Form Based Code Village District that would impair the Town's ability to implement the concepts contained in the Overall Master Plan as outlined in the Route 25/35 Corridor Study prepared by Gorrill-Palmer Consulting Engineers, Inc., dated July 9, 2007. This report was recommended by the Roadway Planning Committee and adopted by the Town Council as the Town's roadway plan for Standish Village. [Added 6-7-2011]
- E. Within ~~the Standish Corner District~~ a Form Based Code Village District, subdivisions shall meet the block length standards of the applicable ~~SCD~~ FBCVD street frontage type(s). Connections to existing ~~SCD~~ FBCVD streets on adjacent parcels are required. The location of future ~~SCD~~ FBCVD street connections to all abutting undeveloped parcels are required. These future ~~SCD~~ FBCVD street connections shall be strategically located to maximize connectivity and minimize environmental impacts. No dead-end ~~SCD~~ FBCVD streets are allowed, except in the case where the subdivision shall be built in phases as part of the approval and such phasing is identified on the subdivision plan recorded in the Cumberland County Registry of Deeds. The subdivider shall demonstrate in the conceptual Connectivity Master Plan how future connections to existing ~~SCD~~ FBCVD streets and adjacent undeveloped parcels shall be accomplished prior to subdivision approval if the development will be phased and/or remaining lands are to be developed at a later date than the subdivision approval. [Added 6-7-2011]

ARTICLE XXIII Applicability

§ 181-123. Applicability.

C. Streetlights.

- (1) All proposed subdivision plans submitted to the Planning Board for review shall contain acceptable provisions for adequate, well placed street lighting, both within proposed rights-of-way and affected intersections of proposed rights-of-way and existing ways. The applicant may choose to install streetlights at the applicant's expense at time of construction or to pay the Town of Standish an amount equal to the full cost of installation of all proposed streetlights in accordance with Subsection C(2), except in ~~the Standish Corner District~~ a Form Based Code Village District, where streetlights in subdivisions with new ~~SCD~~ FBCVD street frontage types shall be installed at the time of the new road construction or, if located on an existing street, then prior to issuance of a building permit for the first lot or unit. In the event that the applicant chooses to install streetlights, the Planning Board shall be provided with documented proof that all costs of equipment and installation have been paid in full. [Amended 6-7-2011]
- (3) In the Standish Corner District, if a SCD streetscape is not already in place, including new SCD streetlights, the cost of installing SCD streetlights on existing Town Center, Town Avenue and Town Main SCD street frontage. [Added 6-7-2011]

Part 6 Growth Management [Added 8-12-2003 by Order No. 100-03]

ARTICLE XXXIX Exemptions

§ 181-144. Exemptions.

This Part 6 shall not apply to the following:

- G. New dwelling units located within ~~the Standish Corner District~~ a Form Based Code Village District on lots in subdivisions having received Planning Board approval. [Added 6-7-2011]

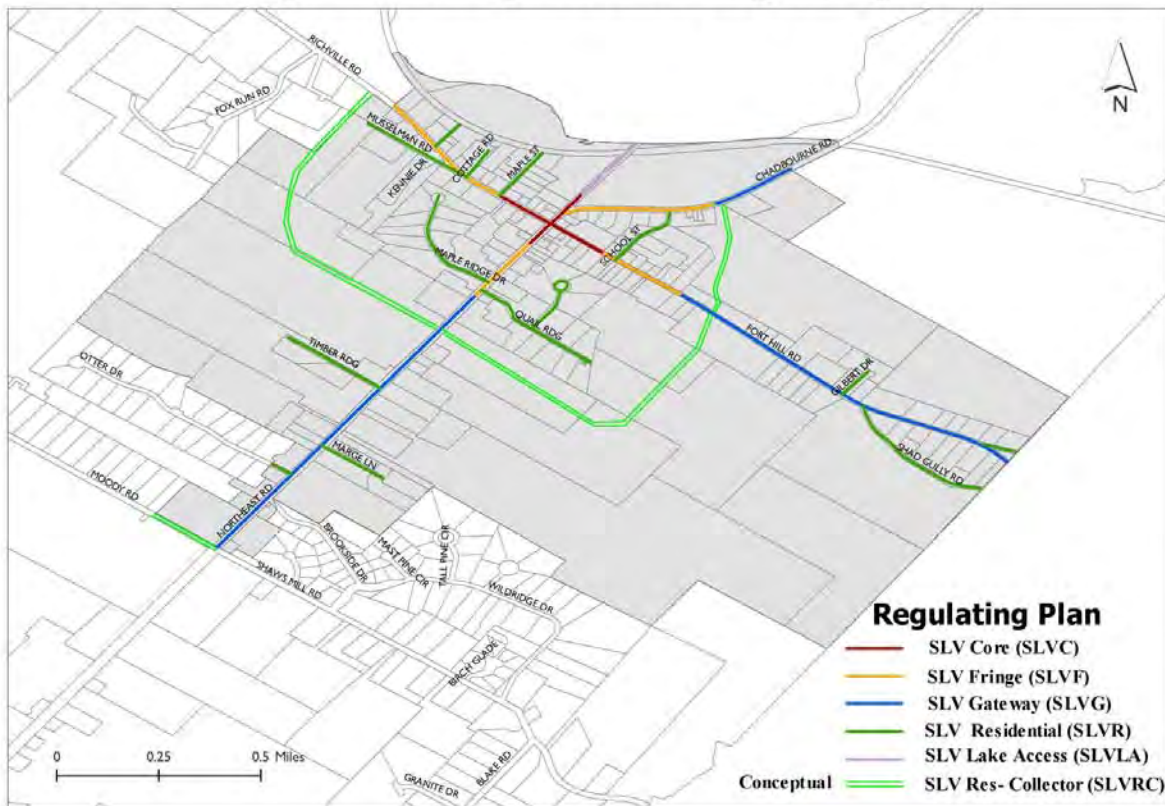


Sebago Lake Village District



attachment § 181c Sebago Lake Village District Regulating Plans

Sebago Lake Village District Regulating Plan



STREETS AND SIDEWALKS
252 Attachment 6
Sidewalk Plan
[Added 12-11-2007 by Order No. 128-07]

Standish ~~Village~~ Corner District

- 1) Route 25 - Ossipee Trail East and West
 - a) Along the north and northeasterly side of this arterial
 - i) 4,200-foot section from Blake Road to Route 35
 - ii) 200-foot section from Route 35 to Oak Hill Road
 - iii) 1,600-foot section from Oak Hill Road over the crest of the hill through Map 35 Lot 20
 - b) Along the south and southwesterly side of this arterial
 - i) 3,100-foot section from Pit Stop Fuel to Route 35 between Map 10 Lot 95 and Route 35
 - ii) 1,200-foot section from Route 35 to Village View Road
 - iii) 500-foot section from Village View Road past top of hill through Map 10 Lot 4
- 2) Route 35 - Northeast Road and Bonny Eagle Road
 - a) Along the southeasterly side of Route 35
 - i) 1,900-foot section from Apple Lane to Route 25
 - ii) 750-foot section from Route 25 through the George E. Jack Elementary School at Map 36 Lot 25
- 3) Oak Hill Road
 - a) Along the northeasterly side of this road
 - i) 1,550-foot section from Route 25 to Oak Ridge Drive

Sebago Lake Village ~~Area~~ District

- 1) Route 35 - Chadbourne Road and Northeast Road
 - a) Along the southeasterly side of Route 35
 - i) 1,000-foot section from Quail Ridge Drive to Route 114
 - ii) 2,500 500-foot section from Route 114 to the Mountain Division Trailhead Northeast Road Extension.
 - b) Mountain Division Trail along the Northerly side of Route 35
 - i) 2,000 – foot section from Northeast Road Extension to the Johnson Ball Field
 - c) Other areas as shown as future sidewalks on the “SLV Sidewalk and trails R1”
- 2) Route 114 - Fort Hill Road and Richville Road
 - a) Along the southwesterly side of Route 114
 - i) 1,100-foot section from Edna Libby School to Route 35
 - ii) 450-foot section from Route 35 to Map 41 Lot 8 (School House Arts Center)
- 3) School Street
 - a) Along the northwesterly side
 - i) 850-foot section from Route 114 to Route 35

Steep Falls Area

- 1) Route 11 Main Street