

Proposed usability overhaul to the Form Based Code Village Districts §181-7.1

8/4/2022

Changes

A. Terms defined

- Removed definition “Garden Wall”. Term is never used.
- Removed definition “Infill Development”. Term is never used. Definition is broad to the point of being useless.
- Removed FBCVD dwelling unit definitions. They overlap confusingly and unnecessarily with Article 2 definitions and don’t add any useful distinction aside from not allowing first floor use which is also specified in each applicable street frontage type.
- Removed definition “Required build to line”. Replaced all mentions of “required build to line” with “Required build to zone”
- Changed definition of “Single family home” to
“A structure containing one primary dwelling unit. A “single family home” may include accessory dwelling units and/or family apartments as defined in §181-3 subject to all relevant standards of this ordinance.”
The previous definition was only relevant in contrast to the FBCVD dwelling unit definitions and was poorly worded such that first floor units in a multi-family building would technically be “single family homes”.
- Under “regulating plan” corrected references to appendixes as follows
 - Regulating Plans for the Standish Corner District and the Sebago Lake Village District are included at the end of this chapter as Attachment ~~181b 2~~ (Standish Corner District) and Attachment ~~181c 3~~ (Sebago Lake Village District) and incorporated herein by reference
- Added “Village housing may be accessed by a private internal driveway and orient buildings to that driveway as if it were a Town Residential or SLVR road provided the vegetated buffer requirements of §181-28.1 are met.” To the village housing definition in an attempt to address the conflict between §181-7.1 B.1 giving the §181-7.1 superiority over the standards for village housing laid out in §181-28.1.

B. Administrative provisions:

- Cleaned up language in B.1.d to remove potential confusion. All things requiring subdivision review per state law will require it not just ones “noted per FBCVD frontage type”.
- Under B.2.a corrected regulating plan references again.
- Extensively revised general building standards and moved them from B.2.f to B.7.a as outlined in point D “Building Form Standards” of this memo
- Corrected the error in B.4.b.5 that said “no future TG SCD streets allowed” under the TR description so that it reads “future TR SCD streets allowed”.
- Under B.4.c.6 there is no note (as there is in all other street frontage types) on whether new Lake Access Roads are allowed. Added a note stating that they are allowed.
- Under B.4.b and B.4.c added language for flexibility on corner lots at the discretion of the Planning Board.
- Revised process language in B.4.d to reflect that building form and placement standards have moved out of the street frontage types (as outlined in points C and D of this memo.)

C. Dimensional Standards:

- All lot size and building placement standards have been removed from the street frontage type sections and consolidated into a new dimensional standards section. §181-7.1 C
- Moved the two notes defining the right of way widths that are repeated at the end of each frontage type to a single point in the new dimensional standards section. §181-7.1 C.2
- Removed “ancillary building” maximum height. In my mind this undermines the mixed use/growth area goals of the district. If we do retain this it needs to be changed to “accessory” instead of “ancillary”.
- Removed drive width minimums. Maximum widths (large, undesignated curb cuts) are a bigger concern and public safety / emergency access is covered elsewhere.
- SCD:
 - Consolidated side, rear, and side-street **parking** setbacks into one side/rear setback. The difference between these numbers in any given zone was minimal and the side vs side street distinction only added confusion. I have kept the separate side street **structure** setbacks as the building wall is an integral part of the goals of the district and it helps to make sure that the corner lots flow into the side street lots appropriately.
 - Removed confusing front structure setback adjustment language from TC and added a clearer note to **all** SCD street frontage types allowing for an increased maximum setback if it is consistent with neighboring properties.

“For properties where adjacent buildings are set back more than the maximum allowed front setback, the front setback may be set to align with the front building face of the lease non-conforming, immediately adjacent property or double the maximum setback in that zone, whichever is less.”
 - Removed “finish ground floor level”: I honestly cannot figure out what possible purpose this could serve. I’ve never seen a regulation of this outside of flood zones.
- SCD TA:
 - Front Build to line (15’ for a 4 rod road and 31.5’ for a 8 rod road) has been changed to a build to area (consistent with the other street frontage types in the SCD) with a minimum setback of 15’ and a maximum of 30’. This has been made to be consistent across right of way widths instead of the current separate standards for 4 and 8 rod roads.
- SCD TC:
 - Made the rear structure setback a flat 10’ to be consistent with the other SC Street frontage types. It currently is 10’ if the adjacent lot is in residential use or 5’ if it is not in a residential use.
- SCD TG:
 - Added 20’ minimum front parking setback to be consisted with the TC, TM, and TA frontage types
 - Removed 1 curb cut per 200ft restriction. This is the only street frontage in the FBCVDs with frontage based curb cut restriction. Other restrictions in this section and in our street standards cover this.
- SLD
 - Reworded maximum front structure setback adjustment language in SLVC and SLVF to be consistent with SCD frontage types. The major change from the existing language is it removes the requirement that the property be a “redevelopment” to use the adjustment.
 - As with the SCD consolidated side, rear, and side-street parking setbacks into one side/rear setback. SCD requires 15’ setback off residential lots while SLD requires 15’ setback off

residential *and* mixed use. I have removed the mixed use requirement from the SLD to be consistent and to meet the towns density goals.

- Front parking setbacks are measured from the front of the building rather than the front property line, requiring parking to be setback from 0-10' more than the building. I have consolidated this "Parking may not be closer to the front property line than the front of the primary structure." in all frontage types.
- Added footnote allowing driveway parking within front setback for residential uses (similar to that in the SCD R frontage type).
- Removed minimum building height. The "20 feet or two stories" wording is confusing and as it effectively forbids sheds and other small outbuildings. The town could alternately make it a minimum *primary* building height and allow shorter accessory structures but I recommend taking it out entirely.
- SLD F
 - Removed Maximum side street setback. It is the only street frontage type in the FBCVDs with this requirement and sets the minimum setback off the side street the same as the maximum front setback that the side street would have. It seems odd but if the goal is to stablish strong corners of each block than it does effectively require buildings in this zone to be located on the corner of corner lots.

D. Building Form Standards

- Consolidated all street frontage type building form standards with the general standards of §181-7.1 B.2.f.1 "Building form standards, general standards"
- Moved these consolidated standards out of the more process focused B.2 now named "Overall standards" into the more appropriate B.7 renamed from "general notes" to general standards"
- Added an ability for the planning board to waive the building form standards if the intentions of the district are met.
- Made the following changes to building form standards:
 - Windows and door to façade ratio:
 - SCD and SLVD blank wall languages simplified and made consistent but no substantive change from existing rules.
 - Fenestration: Consolidated to a blanket 30%-90%. This is a compromise to remove various conflicting and overlapping numbers that exist in different places. It effectively allows for less fenestration in the SCD, allows more fenestration on upper floors in the SCD, and raises the required minimum slightly in the SLD. Also removes the minimum 70% fenestration on first floor retail.
 - Doors/entries: reworded point (a) but requirement remains effectively the same. Conflicting language between general standards and SLVG standards might mean this street frontage was not previously held to the every 50' requirement. Moved the service entrance requirements from the "notes" section of each street frontage type to a new point (b) in this section. Added simplified version of language from SCD TG frontage allowing overhead doors existing prior to the ordinance to be retained. This makes this provision explicitly consistent across frontages. It also softens the current requirements by removing the requirement that existing overhead doors would need to be removed in a remodel or change of use.
 - Windows and doors: retained existing language. Conflicting language between general standards and SCTA might mean that this street frontage was not previously held to the door material requirements.

E. Required parking spaces

- SCD
 - Removed the “uses less than 3,000sqft (2 story)” which was listed under the “ground floor” section. It is not clear to me what this means. Is it a use with less than 3,000sqft of floor area that is split across two floors? Is it a use with less than 3,000sqft on the ground level of a 2 story building? I also don’t understand why either of these would mean that the use doesn’t require off street parking at all.
 - Town Gateway: changed from reference to non-existent standards be the same as other SCD street frontage types.
 - Removed language requiring churches to use on street or shared parking
 - Town Residential: changed non-residential use requirements to be the same as other street frontages.
 - Removed language requiring churches to use on street parking.
- SLV
 - Residential connector, residential and Lake access zones: changed non-residential use requirements to be the same as other street frontages.

F. Supplemental Planning board review (§181-7.1 B.5 and 6)

- Removed all reference to “shared parking”. Ordinance committee had previously questioned feasibility and liability issues. “Shared parking” is not defined and it is not clear what this would entail. Shared with who? Neighboring lots? between uses on a lot? Every interpretation has implementation issues.
 - Replaced the shared parking requirement under review of additional spaces above that required in the SCD TC, TA, and TM frontages (§181-7.1 B.5.b) and SLV C, F, and G (§181-7.1 B.6.a) with a requirement that the proposed use’s need for additional spaces be justified to and approved by the planning board.
- Reworded all mentions of a “shared” driveway to be a single driveway. The existing phrasing is unclear and seems to imply shared among multiple uses on a lot rather than with adjacent lots? If that is the case the rewording avoids overlap with the related defined “joint access (or shared access)”. If the intention was that it *should* overlap and that the “shared driveway” is shared between adjacent lots then I have concerns with the limitations that imposes in development under this section.
- Reworded requirements to close curb cuts for clarity and added a provision where the PB can approve a second curb cut if needed for public safety.
- Removed the 15,000sqft cap in 5.a.3 to be inclusive of allowed building footprints.

G. Use lists

- Changed “single family home” to “dwelling, single family” everywhere it occurred.
- TC
 - TC, TM, and TA – removed FBCVD residential uses added “Dwelling, one unit. (must comply with §181-7.1 E.1.a)” and “Dwelling, two units (must comply with §181-7.1 E.1.a)” under permitted without site plan review and “Dwelling, Three Family (must comply with §181-7.1 E.1.a)” and “Dwelling, Multi-Family (must comply with §181-7.1 E.1.a)” under permitted with site plan review.
 - TG and TR – Removed “Dwelling unit, studio”. Added “Dwelling, three family” under permitted with site plan review
- SLV

- SLVC, SLVF, SLVG, SLVRC, SLVR – removed “dwelling, studio”. Added “dwelling, three family under permitted with site plan review.
- SLVC – Added “(must comply with §181-7.1 F.1.a)” to all residential uses.
- SLVRC and SLVR – Corrected “elderly housing subdivision” to “elderly housing”. added “village housing” multi-families are already allowed and this is a designated growth area. it only makes sense to allow village housing in all FBCVDs

H. Street Frontage types

- “mix use” formerly subsection (c) of most frontage types now subsection (a) of relevant frontage types. Removed where all uses are allowed on all floors. This is inherent does not need to be said again. Where residential uses are not allowed on the ground floor streamlined language to: “For structures or additions to structures created after June 7, 2011(SC) / August 12, 2014 (SLV), residential uses are prohibited on the ground floor.”
 - SLVG appears to currently restrict upper floors to *only* residential use. The revised language allows all allowed uses on all floors.
- Notes pertaining to loading docks, overhead doors, and primary entrances moved from being a note under building placement to being under “doors/entries” within the general standards “building form standards”
- Removed the street cross section, “concept perspective” and “concept elevation” images from the end of each street frontage type. They are unreadable at best, misleading at worst, and the street cross sections don’t reflect the changes that have been made to the street space standards since this was created.
- Note about maximum footprint in the center and main frontages moved to new (b) subsection.
- For clarity, consistency and simplicity of enforcement edited the nonconforming language if each street frontage type so that it reads as follows:

Uses not listed are not permitted. Nonconforming uses and structures existing as of the date of adoption of the Standish Corner District are subject to standards of Article V (Nonconforming Uses) ...
- Consolidated driveway language into one point (c). Soften language on corner driveways to allow access from the primary SCD street *if shared with a non-corner lot*.
- Changed point [e] of the CEO approval provision (g.2) from “That are eligible for a permit by the Code Enforcement Officer per SCD street frontage type.” to “That are allowed uses in the applicable SCD street frontage type.” As discussed with the Ordinance committee.
- Consolidated lot width into section (now (e)) with block width. Removed “Intersection” point as it was a best confusingly reductive and redundant to the detailed lay out explanation in §181-7.1 B.3 and 4.
- Removed note from SLVRC and SLVR requiring garages to be set back at least 5 feet from the front of the house. The ordinance repeatedly states that there are no building form standards for residential and it’s a nitpicky design requirement.
- Removed separate lot width standards for conservation subdivisions from SLVR. One of the points of conservation subdivisions is flexibility (within standards set in the conservation subdivision regulations).
- Increased bike lane width to 5’ in SC TA, SLVRC, and SLVR. the current 3’ is inadequate for a safe bike lane.
- Removed language about turning lanes from SLVC street standards. Turning lanes should be used as dictated by engineering not by a land use ordinance.

§ 181-7.1 Form Based Code Village Districts (FBCVD).

The intent of the Form Based Code Village Districts is to strengthen and/or establish mixed-use, interconnected, village-scaled neighborhoods based on a development pattern that is fiscally responsible and environmentally sustainable. New neighborhoods and redevelopment opportunities shall be characterized by vital civic spaces with quality FBCVD streetscapes framed by pedestrian-scaled buildings. The standards for the Form Based Code Village Districts allow for a wide range of residential, economic development and recreational opportunities, while promoting improved vehicular and pedestrian connectivity throughout the area.

A. Terms defined. As used in this section, the following terms shall have the meanings indicated:

AMENITY ZONE

A portion of the public right-of-way, typically adjacent to the sidewalk but outside the pedestrian walking area, including FBCVD streetscape elements.

ART CENTER - INDOOR

A structure or complex of structures for housing the visual and/or performing arts. Includes the retail sale of art.

ART GALLERY/MUSEUM

A public place consisting of a building containing objects such as, but not limited to, paintings, prints, sculptures, scientific and historical objects, which are either for sale to the general public or are displayed for viewing only. Outdoor display, excluding retail sales, is permitted only as an accessory use during business hours and may not impede pedestrian traffic.

BLOCK LENGTH

The distance between new FBCVD street intersections. The applicable FBCVD street frontage type determines block length.

BUILDABLE AREA

The area of the lot that building(s) may occupy. The buildable area sets the limits of the building footprint now and in the future; additions to structures must be within the designated area.

BUILDING DEVELOPMENT STANDARDS

The part of the section that establishes basic parameters regulating building form, including the

envelope, placement (in three dimensions) and certain permitted/required building elements, such as storefronts, street walls, building height, and window proportionality. Building development standards are determined by the applicable FBCVD street frontage type standards. This produces a coherent FBCVD streetscape and context.

BUILDING FORM

The form of a building, based on its massing, private frontage, and height.

BUILDING PLACEMENT

The placement of a building on its lot.

CLEARLY VISIBLE FROM THE FBCVD STREET

Visible from the Form Based Code Village District street, which includes squares, civic greens, parks, and all public space except alleys. A building element more than 30 feet from the front of the FBCVD street (such as items facing a common lot line more than 31 feet away from a FBCVD street) is by definition not clearly visible from the FBCVD street. Also common and/or party walls are by definition not clearly visible from the FBCVD street.

COMMON LOT LINE

Lot lines shared by adjacent private lots.

CONNECTIVITY MASTER PLAN

A plan that demonstrates the key elements of the Form Based Code Village District, including connectivity within the development and to adjacent parcels, block lengths and other standards as prescribed by applicable FBCVD street frontage types (such as Town Center or Town Residential). A plan must show how the project will conceptually relate to the context, allowing for a proactive planning process. A conceptual Connectivity Master Plan must be approved by the Planning Board in order for an applicant to obtain subdivision or site plan approval for a project located in a Form Based Code Village District.

CONTEXT

Surroundings, including a combination of architectural, natural and civic elements that define district, neighborhood, FBCVD street or specific block character.

CONVENIENCE STORE

A retail establishment that accommodates neighborhood needs for groceries and sundries and that may sell, as accessory uses, prepared food for carry-out.

DRIVEWAY

A public or private roadway that provides vehicular access to the front, side or rear of a panel.

ENTRANCE, PRINCIPAL

The main point of access for pedestrians into a building.

FACADE

The face of a building, specifically the front that looks onto an FBCVD street or public space.

FBCVD STREET

Specifically the area from curb to curb or shoulder to shoulder within a public or private right-of-way located in the Standish Corner District or the Sebago Lake Village District and primarily used for vehicular movement and on-street parking. Refer to "FBCVD Streetscape" for a more detailed definition of the role of the FBCVD street as part of the public realm as typically defined by the facade of buildings on either side of the FBCVD street right-of-way.

FBCVD STREET FRONTAGE

The lot line coincident with the required build-to-zone (RBZ) or that portion of the building that is coincident with the required build-to-zone (RBZ) as required by this section.

FBCVD STREET FRONTAGE TYPE

Street frontage type of a public or private right-of-way established by a Form Based Code Village District Regulating Plan.

FBCVD STREETScape

The urban element that establishes the major part of the public realm. The FBCVD streetscape is composed of thoroughfares (travel lanes for vehicles and bicycles, parking lanes for cars, and sidewalks or paths for pedestrians) as well as the visible private frontages (building facades and elevations, porches, yards, fences, awnings, etc.) and the amenities of the public frontages (FBCVD street trees and plantings, benches, FBCVD streetlights, etc.).

FBCVD STREET SPACE

The space as defined between buildings on opposite sides of the FBCVD street, including streetscape components such as sidewalk and amenities.

FBCVD STREET WALL

A wall, such as masonry, decorative wood or metal, set back (or forward) not more than eight inches from the required build-to-zone (RBZ) or adjacent building facade and built to the height specified in the FBCVD street frontage type standards.

FENESTRATION

An opening in the building wall, such as doors or windows, allowing light and views between interior and exterior. Fenestration is measured as glass area for enclosed space and as open area for parking structures.

FORM BASED CODE VILLAGE DISTRICT (FBCVD)

Refers to any district under § 181-7.1, including the Standish Corner District and the Sebago Lake Village District.

GROUND FLOOR

The first floor of a building other than a cellar or basement and that is most level with the ground as viewed from the public street.

INDOOR AMUSEMENTS AND RECREATION

Establishments providing indoor amusement or entertainment for a fee or admission charge, such as arcades containing coin-operated amusements and/or electronic games (five or more such games or coin-operated amusements in any establishment constitutes an arcade in compliance with this definition, four or less are not considered a land use separate from the primary use of the site); card rooms, billiard and pool halls; bowling alleys; ice skating and roller skating; dance halls, clubs and ballrooms which are principal uses rather than being subordinate to an eating or drinking place; gymnasiums, reducing salons, health and athletic clubs including indoor sauna, spa or hot tub facilities; tennis, handball, racquetball, indoor archery and shooting ranges and other indoor sports activities.

LOW-IMPACT DEVELOPMENT (LID)

A more sustainable land development pattern that results from a site planning process that first identifies critical natural resources, then determines the best layout of an FBCVD street pattern while meeting the applicable Form Based Code Village District street standards for the applicable Form Based Code Village District street frontage type, and incorporates a range of best management practices (BMPs) that preserve the natural hydrology of the land to minimize and treat stormwater runoff in a decentralized manner.

MINIMUM LOT SIZE REDUCTION PERMIT

A permit issued by the Code Enforcement Officer for lots located within a Form Based Code Village District that are less than 20,000 square feet in area but more than 15,000 square feet in area and that meet the standards of 22 M.R.S.A. § 42, the Maine Subsurface Wastewater Disposal Rules (10-144 CMR Ch. 241), 12 M.R.S.A. § 4807, and the Maine Minimum Lot Size Rules (10-144 CMR Ch. 243), as such statutes and rules may be amended from time to time.

OUTDOOR DISPLAY AND SALES

The display and sale of products and services, during hours of operation, primarily outside of a building or structure approved for such use, excluding vehicles, garden supplies, tires and motor oil, boats, farm equipment, motor homes, burial monuments, building and landscape materials, and lumber yards. Any such incidental use may not impede pedestrian movement and must meet the applicable standards of the Americans with Disabilities Act.

OUTDOOR RECREATION LIMITED

A facility that is smaller than three acres for various outdoor participant sports and types of recreation (e.g., amphitheaters, miniature golf courses, skateboard parks, swim and tennis clubs, etc.)

PARKING, COMPACT SPACE

A parking space measuring eight feet wide by 16 feet long.

PARKING, STACKED

A parking arrangement in a manner that all cars do not have direct access to a parking aisle.

PEDESTRIAN ORIENTATION

A physical structure or place with design qualities and elements that contribute to an active, inviting and pleasant place for pedestrians that typically includes most of the following elements:

- (1) Building facades that are highly articulated at the FBCVD street level, with interesting uses of material, color, and architectural detailing, located directly behind the sidewalk;
- (2) Visibility into buildings at the FBCVD street level;
- (3) Continuity of building facades along the FBCVD street with few interruptions in the progression of buildings and stores;
- (4) Signs oriented and scaled to the pedestrian rather than the motorist.

PEDESTRIAN-ORIENTED USE

A land use that is intended to encourage walk-in customers and that generally does not limit the number of customers by requiring appointments or otherwise excluding the general public. A pedestrian-oriented use provides spontaneous draw from the sidewalk and FBCVD street due to visual interest, high customer turnover, and/or social interaction.

PRINCIPAL BUILDING

The building in which the principal use of the lot is conducted, usually located toward the frontage of the lot.

PRIVATE FRONTAGE

The privately held layer between the required build-to-zone (RBZ) and the principal building facade. The structures and landscaping may be held to specific standards. The variables of private frontage are the depth of the setback and the combination of architectural elements such as fences, stoops, porches, and galleries.

PUBLIC FRONTAGE

The area between the curb of the vehicular lanes and the required build-to-zone (RBZ). Elements of the public frontage include the type of curb, walk, planter, FBCVD street tree, and FBCVD streetlight.

PUBLIC WATER

A common water service operated by a municipality, governmental agency, or a public utility for the furnishing of water that meets the standards of the State of Maine for drinking water.

RAIN GARDEN

A planted depression that allows rainwater runoff from impervious urban areas like roofs, driveways, walkways, parking lots, and compacted lawn areas the opportunity to be absorbed.

REGULATING PLAN

The coding key for the Form Based Code Village District street frontage types. FBCVD street frontage types illustrate aspects of the built environment such as how each building lot relates to adjacent properties, building development standards, the FBCVD streetscape, civic space, parks, parking lots as well as the overall desired pattern of development, particularly the importance of connectivity between neighborhoods. Regulating Plans for the Standish Corner District and the Sebago Lake Village District are included at the end of this chapter as Attachment 2 (Standish Corner District) and Attachment 3 (Sebago Lake Village District) and incorporated herein by reference.

REQUIRED BUILD-TO-ZONE (RBZ)

Within the Form Based Code Village Districts, a required build-to-zone establishes where the placement of a building may be in accordance with the applicable FBCVD street frontage type.

ROD

A historic unit of measure equal to 16.5 feet.

SCD

Standish Corner District as shown on the Town of Standish's Official Zoning Map.

SCD STREET

Specifically the area from curb to curb or shoulder to shoulder within a public or private right-of-way located in the Standish Corner District, and primarily used for vehicular movement and on-street parking. Refer to "FBCVD streetscape" for a more-detailed definition of the role of the SCD street as part of the public realm as typically defined by the facade of buildings on either side of the SCD street right-of-way.

- (1) **TOWN CENTER (TC) SCD STREET FRONTAGE TYPE** Those public or private rights-of-way identified as Town Center on the Standish Corner District Regulating Plan.
- (2) **TOWN MAIN (TM) SCD STREET FRONTAGE TYPE** Those public or private rights-of-way identified as Town Main on the Standish Corner District Regulating Plan.
- (3) **TOWN AVENUE (TA) SCD STREET FRONTAGE TYPE** Those public or private rights-of-way identified as Town Avenue on the Standish Corner District Regulating Plan.
- (4) **TOWN GATEWAY (TG) SCD STREET FRONTAGE TYPE** Those public or private rights-of-way identified as Town Gateway on the Standish Corner District Regulating Plan.
- (5) **TOWN RESIDENTIAL (TR) SCD STREET FRONTAGE TYPE** Those public or private rights-of-way identified as Town Residential on the Standish Corner District Regulating Plan.

SIGNABLE AREA

An area on the facade of a building below the second story specifically designed for locating signage. On existing buildings, the signable area is a space free of windows and doors and does not interfere with architectural details such as columns or cornices.

SINGLE-FAMILY HOME

A structure containing one primary dwelling unit. A “single family home” may include accessory dwelling units and/or family apartments as defined in § 181-3 subject to all relevant standards of this ordinance.

SLVD

Sebago Lake Village District as shown on the Town of Standish's Official Zoning Map.

SLVD STREET

Specifically the area from curb to curb or shoulder to shoulder within a public or private right-of-way located in the Sebago Lake Village District, and primarily used for vehicular movement and on-street parking. Refer to "FBCVD Streetscape" for a more detailed definition of the role of the FBCVD street as part of the public realm as typically defined by the facade of buildings on either side of the FBCVD street right-of-way.

- (1) **SLV CORE (SLVC) STREET FRONTAGE TYPE** Those public or private rights-of-way identified as SLV Core on the Sebago Lake Village District Regulating Plan.
- (2) **SLV FRINGE (SLVF) STREET FRONTAGE TYPE** Those public or private rights-of-way identified as SLV Fringe on the Sebago Lake Village District Regulating Plan.
- (3) **SLV GATEWAY (SLVG) STREET FRONTAGE TYPE** Those public or private rights-of-way identified as SLV Gateway on the Sebago Lake Village District Regulating Plan.
- (4) **SLV LAKE ACCESS (SLVLA) STREET FRONTAGE TYPE** Those public or private rights-of-way identified as SLV Lake Access on the Sebago Lake Village District Regulating Plan.
- (5) **SLV RESIDENTIAL CONNECTOR (SLVRC) STREET FRONTAGE TYPE** Those public or private rights-of-way identified as SLV Residential Connector on the Sebago Lake Village District Regulating Plan.
- (6) **SLV RESIDENTIAL (SLVR) STREET SLV FRONTAGE TYPE** Those public or private rights-of-way identified as SLV Residential on the Sebago Lake Village District Regulating Plan.

SUPPLEMENTAL PLANNING BOARD REVIEW

A formal Planning Board review separate and apart from site plan or subdivision review triggered by certain types of projects in a Form Based Code Village District.

TYPE

A category, determined by function, disposition, and configuration, including size or extent. There are community types, FBCVD street types, frontage types and civic space types.

VILLAGE HOUSING

A building or buildings located in a Form Based Code Village District that contain at least four but no more than 48 dwelling units with no age restriction on residents. Village housing may be accessed by a private internal driveway and orient buildings to that driveway as if it were a Town Residential or SLVR road provided the vegetated buffer requirements of § 181-28.1 are met.

B) Administrative provisions.

(1) Required permitting.

- (a) Land uses in Form Based Code Village Districts are prescribed by the FBCVD street frontage types and shall require written approval as indicated in the "Allowed Land Uses and Permit Requirements" listed within each specific FBCVD street frontage type.
- (b) Permitted uses, not requiring site plan review, are noted per FBCVD street frontage types. Such uses shall require approval of the Code Enforcement Officer only.
- (c) Permitted uses requiring site plan review are noted per FBCVD street frontage type. Such uses shall require Planning Board approval in accordance with Part 2 (Site Plan Review) of this chapter. Some projects may require both site plan and subdivision review and approval.
- (d) Permitted uses requiring subdivision shall require Planning Board approval in accordance with Part 3 (Subdivision Regulations) of this chapter. Some projects may require both site plan and subdivision review and approval.
- (e) Permitted uses triggering supplemental Planning Board review are listed within the specific FBCVD street frontage type.

Whenever a provision of the Form Based Code Village District regulations contained in this section conflicts with or is inconsistent with another provision of this chapter or other ordinances of the Town other than Chapter 237 (Shoreland Zoning), the Form Based Code Village District regulations shall prevail. Whenever a provision of the Form Based Code Village District regulations contained in this section conflicts with or is inconsistent with Chapter 237 (Shoreland Zoning), Chapter 237 shall prevail.

- (2) Overall standards of the Form Based Code Village Districts. Form Based Code Village Districts are comprised of the following standards, which guide the form and pattern of development in the Form Based Code Village Districts; the regulating plan, FBCVD street frontage types, the building/parking placement standards, block length, and intersection standards, FBCVD streetscape/FBCVD street space standards and building form standards.

- (a) Regulating plan: The regulating plan is the coding key for a Form Based Code Village

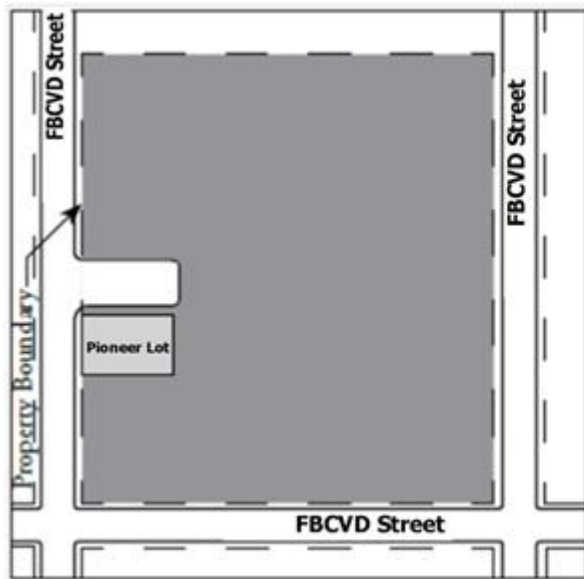
District that identifies existing FBCVD street frontage types, provides a key for future allowable FBCVD street frontage types and the related standards such as building form and placement, FBCVD streetscapes and the resulting development patterns. Regulating plans for the Standish Corner District and the Sebago Lake Village District are included at the end of this chapter as Attachment 2 (Standish Corner District) and Attachment 3 (Sebago Lake Village District) and incorporated herein by reference.

- (b) FBCVD street frontage types: FBCVD street frontage types illustrate the specific aspects of the built environment in a Form Based Code Village District, including building/parking placement, building form, FBCVD streetscapes, block lengths/intersections and allowable uses.
- (c) Building/parking placement standards: The building/parking placement standards establish basic parameters governing building form, including the envelope for building placement (in three dimensions) and the location of off-street parking and access driveways. The intent of the building/parking placement standards is to shape vital public space in a Form Based Code Village District through the placement of buildings that frame and activate the public realm in a manner appropriate for the context.
- (d) Block length/intersection standards: The purpose of the block length/intersection standards is to establish interconnected neighborhoods that are walkable and have appropriate transitions from different FBCVD street frontage types, which vary in density, FBCVD streetscape/FBCVD street space and intensity of land use. A critical aspect of the Standish Corner District is to utilize the back lands off of Routes 25 and 35 for a range of open space, housing and economic development opportunities, all while creating a network of interconnected neighborhoods. A block length is the allowable distance between intersections. Intersections determine the allowable transitions between FBCVD street frontage types.
- (e) FBCVD streetscape/FBCVD street space standards: The purpose of the FBCVD streetscape/FBCVD street space standards is to ensure coherent FBCVD street spaces and to assist builders with understanding the relationship between the public realm of a Form Based Code Village District and their own building(s). These standards set the parameters for the placement of FBCVD street trees, sidewalks and other FBCVD streetscape amenities that define the FBCVD street space (generally defined as the space between the face of buildings on either side of a FBCVD street) as a pedestrian-friendly environment. These standards govern the construction of new streets and the construction of improvements within the public right-of-way in conjunction with a development on an existing street. In addition, these standards should guide any publicly funded improvements within the street right-of-way, including the reconstruction of existing streets.
- (f) Building form standards: The goal of the building form standards is to establish a baseline understanding of the architectural quality of buildings (in addition to building placement and

other criteria such as height) such as materials, fenestration and construction techniques. Contemporary architecture may complement historic buildings.

- (3) Connectivity Master Plan. The following steps set forth the proper development of a Connectivity Master Plan, which is a required element of site plan or subdivision approval if a project is located in a Form Based Code Village District.

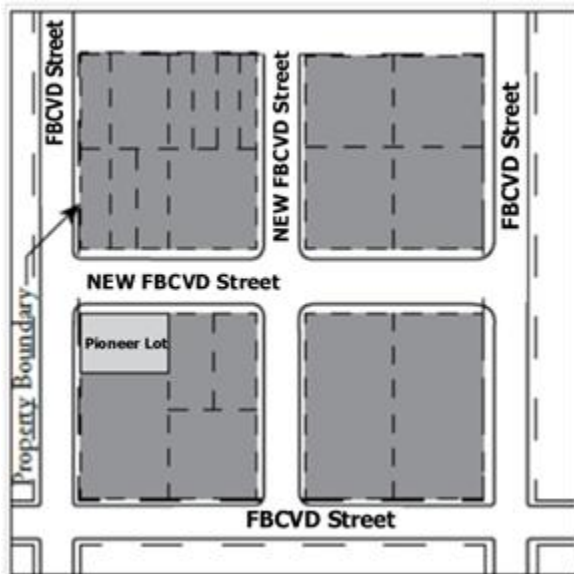
- (a) Site. Begin with "pioneer lot" to be divided from larger lot, triggering perpendicular "block" and allowable "frontage FBCVD street type" to access development. Utilize "frontage FBCVD street type" as required parking for development. The developer will build the FBCVD street to the required standards. This begins the block/connectivity process.



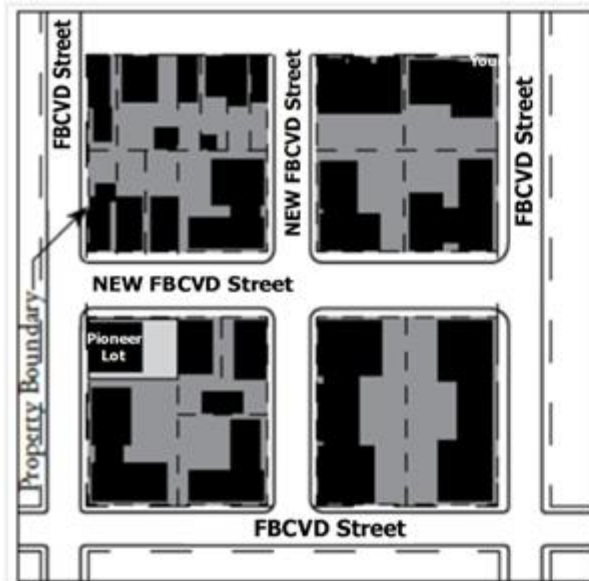
- (b) Introduce FBCVD streets/blocks. Sites being divided shall introduce FBCVD streets from the list of allowable "frontage FBCVD street types" (see the Form Based Code Village District Regulating Plan), complying with "frontage FBCVD street types," block length and connectivity standards, triggering the need for a conceptual Connectivity Master Plan, which shows connections to adjacent parcels and FBCVD streets.



- (c) Introduce lots. Lots are created following standards for "frontage FBCVD street types" establishing neighborhood character, land uses and requiring connectivity within the project and to adjacent land. A conceptual Connectivity Master Plan approved by the Planning Board is required for site plan or subdivision review and approval.



- (d) Introduce building forms. Place buildings on parcels per "frontage FBCVD street type."



- (e) The intent of the Connectivity Master Plan is to encourage a contextual/long-term approach to development, be it a single site or a subdivision.
- (4) Step-by-step guide to the Form Based Code Village Districts: In order to understand how the Form Based Code Village District provisions function, the following basic steps may be reviewed:
- (a) Refer to the District Regulating Plan for the appropriate district, which is the code for existing FBCVD street frontage types and allowable connections to future FBCVD street frontage types. Find the subject property and the existing abutting FBCVD street frontage type. The street frontage types establish the standards for development. The diagram in the upper corner of the Standish Corner Center District Regulating Plan depicts the required build-to-zone and the parking setback line.
 - (b) The Standish Corner District includes the following hierarchical SCD street frontage types (which can be considered different types of neighborhoods) in order from highest to lowest:
 - [1] Town Center (TC) SCD street frontage type: The primary intent of this SCD street frontage type is to strengthen the mixed-use, pedestrian-oriented, traditional street form of the historic Standish Corner (Note: no future TC SCD streets allowed).
 - [2] Town Main (TM) SCD street frontage type: The primary intent of this SCD street frontage type is to encourage a pedestrian-oriented, traditional street form (following the historic eight-rod range way alignment of Route 25), minimizing curb cuts and avoiding the cluttered appearance often associated with "strip mall" style development (Note: no future TM SCD streets allowed).
 - [3] Town Avenue (TA) SCD street frontage type: The primary intent of this SCD street

frontage type is to provide a development pattern that transitions between the more arterial/historic alignment of the TM or Town Gateway (TG) SCD street frontage types and the Town Residential (TR) type neighborhoods surrounding the higher-density historic core, arterials and corridors. The TA SCD street frontage type is a walkable environment defined by the scale and placement of buildings and includes a mixture of compatible residential, retail, entertainment, professional and live work uses (Note: future TA SCD streets allowed).

- [4] Town Gateway (TG) SCD street frontage type: The intent of this frontage type is to provide for areas of development within the Standish Corner District that are not pedestrian-oriented and are not primarily defined by the placement of buildings and the quality of the SCD streetscape as much as the buffering of buildings to maintain or create a rural, visually uncluttered character along the major arterials (Routes 25 and 35) (Note: no future TG SCD streets allowed).
- [5] Town Residential (TR) SCD street frontage type: The intent of this frontage type is to reinforce the character of existing traditional neighborhoods and to encourage the development of new or retrofitted residential neighborhoods consistent with traditional and walkable neighborhood SCD street patterns surrounding and directly supporting the social, cultural and economic activities of the TC, TM, TA and TG SCD street frontage types (Note: future TR SCD streets allowed).

SCD NOTE: When a parcel is a corner lot, the standards of the SCD street frontage type with greater hierarchy prevail, with the Town Center (TC) SCD street frontage type being the highest and Town Residential (TR) SCD street frontage type being the lowest. The Planning Board may approve favoring the lower hierarchy street if it finds development favoring the greater hierarchy street impracticable.

- (c) The Sebago Lake Village District includes the following hierarchical SLVD street frontage types (which can be considered different types of neighborhoods) in order from highest to lowest:

- [1] SLV Core frontage type: The primary intent of this SLVD frontage type is to strengthen the mixed-use, pedestrian-oriented traditional street form at the core intersection of the Sebago Lake Village District (State Routes 35 and 114). (Note: no future SLV Core streets allowed).
- [2] SLV Fringe frontage type: The primary intent of this SLVD frontage type is to encourage a mixed-use, pedestrian-oriented, traditional street form stemming from the SLV Core, minimizing curb cuts and avoiding the cluttered appearance often associated with "strip mall" style development. (Note: no future SLV Fringe streets allowed).
- [3] SLV Gateway frontage type: The primary intent of this SLVD frontage type is to provide

a mixed-use development pattern that transitions between the more-arterial alignment of the SLV Core and SLV Fringe frontage types and the SLV Residential type neighborhoods surrounding the arterials and corridors. The SLV Gateway street frontage type is a walkable environment defined by the scale and placement of buildings and includes a mixture of compatible residential, retail, entertainment, professional and live work uses (Note: No future SLV Gateway streets allowed).

- [4] SLV Residential Connector frontage type: The primary intent of this SLVD frontage type is to provide the possibility for a road that would link Routes 35 and 114 without needing to go through SLV Core. (Note: Future SLV Residential Connector streets allowed).
- [5] SLV Residential frontage type: The primary intent of this SLVD frontage type is to reinforce the character of existing traditional neighborhoods and to encourage the development of new or retrofitted residential neighborhoods consistent with traditional and walkable neighborhood SLV street patterns surrounding and directly supporting the social, cultural and economic activities of the other SLV street frontage types (Note: future SLV Residential streets allowed).
- [6] SLV Lake Access frontage type: The primary intent of this SLVD frontage type is to enhance the connection between Sebago Lake Village and the Sebago Lake waterfront while protecting the region's drinking water supply. (Note: future SLV Lake Access streets allowed).

SLV NOTE: When a parcel is a corner lot or is adjacent to two or more SLVD street frontage types, the standards of the SLVD street frontage type with the greater hierarchy prevail, with the SLV Core being the highest and the SLV Access being the lowest, except when the parcel is adjacent to an SLV Lake Access street frontage. If a parcel has frontage on an SLV Lake Access street, the provisions of the SLV Lake Access frontage type apply to all street frontages. The Planning Board may approve favoring the lower hierarchy street if it finds development favoring the greater hierarchy street impracticable.

- (d) Once the parcel is located, refer to the appropriate building development standards as defined in this section. Building and parking placement regulations are outlined in subsection C “FBCVD Dimensional Standards”. The FBCVD street frontage types in subsections E “Standish Corner District Standards” and F “Sebago Lake Village District Standards” outline the specific details for such issues as block lengths, FBCVD streetscapes, and permitted uses. Building form regulations are outlined in Subsection B “Administration Provisions” under point 2.f “General Standards”.
- (e) For Code Enforcement Officer review: Proceed to the Code Enforcement Officer.
- (f) For site plan review: Proceed to Chapter **181**, Part **2** (Site Plan Review).

(g) For subdivision review: Proceed to Chapter **181**, Part **3** (Subdivision Regulations).

(5) Supplemental Planning Board Review in the Standish Corner District. For any project triggering supplemental Planning Board review within the Standish Corner District, the review process shall be as follows:

(a) On SCD Town Center, SCD Town Main, SCD Town Gateway, and existing and proposed SCD Town Avenue street frontage types, building footprints are allowed up to 5,000 square feet. Applicants for developments with buildings that have a footprint greater than 5,000 square feet must demonstrate compliance with the following standards:

[1] The lot shall be limited to one curb cut. Any other existing curb cuts shall be closed. A second curb cut may be allowed by the Planning Board if it is in the interest of public safety.

[2] If the building is on a corner parcel, the site shall be accessed from the secondary SCD street.

[3] Access shall be built to an allowable SCD street frontage type if the development abuts future developable land, an existing street, or a proposed right-of-way shown on a Planning Board approved Connectivity Master Plan. Such streets shall provide for the proper continuation of streets from adjacent subdivisions and built-up areas and proper projection of streets into adjacent unsubdivided and open land. Notwithstanding the above requirements of this Subsection **B(5)(a)[4]**, the following requirements apply to "pioneer lots" described in § **181-7.1B(3)** containing buildings with building footprints over 5,000 square feet:

[a] Prior to the issuance of a building permit for the pioneer lot, the full required width and length of a right of way allowing continuation as outlined above shall be permanently reserved to the allowable SCD street frontage type by such instrument approved as to form by the Town Attorney and recorded by the owner of the pioneer lot in the Registry of Deeds;

[b] Only 1/2 of the width of the allowable SCD street frontage type need be built prior to occupancy of the pioneer lot when only the pioneer lot is being served;

[c] Travel lane improvements shall be built and substituted for on-SCD street parking and bike lane improvements as part of the built SCD street frontage type when only the pioneer lot is being served;

[d] The length of the allowable SCD street frontage type required to be built to serve the pioneer lot prior to occupancy shall be such length as is necessary, as determined by the Planning Board, to serve the pioneer lot; and

- [e] As soon as the access is to serve more than the pioneer lot the entire width and length of the allowable SCD street frontage type shall be built to the allowable SCD street frontage type on the pioneer lot.
- [4] Parking areas shall include connections to existing or future parking areas on adjacent parcels.
- [5] The building shall meet the applicable SCD street frontage type building form and SCD streetscape standards.
- [6] The applicable SCD street frontage type SCD streetscape standards shall be installed and maintained at the cost of the developer.
- (b) On SCD Town Center, SCD Town Main, SCD Town Avenue, and SCD Town Gateway street frontage types, applicants for developments that do not utilize the applicable required parking spaces, but choose to create additional parking spaces above applicable required parking spaces, must demonstrate to the Planning Board a clear need for the additional spaces based on the needs of the proposed use.
- (c) On SCD Town Center street frontage type, parcels that are less than 20,000 square feet in area but are more than 15,000 square feet in area are required to receive a minimum lot size reduction permit from the Code Enforcement Officer prior to grant of any Planning Board approval or issuance of any building permit, whichever occurs first, as applicable. Only the lots served by public water are eligible for a minimum lot size reduction permit.
- (d) On SCD Town Center, SCD Town Avenue and SCD Town Main street frontage types, applicants for developments that do not meet the applicable SCD street frontage type minimum SCD street frontage required build-to-zone must demonstrate compliance with the following standards:
- [1] The proposed new building is placed on the lot to the minimum setback on one side of the lot frontage so as to accommodate future parcel subdivision and/or building development on the remainder of the parcel.
- [2] Identification on the site plan to which side setback the parcel building shall be placed, the size of the building, the location of parking, the location of driveway egress and how remaining frontage shall be subdivided (if applicable) and how remaining frontage shall be treated to maintain a building wall or permanently screen parking the required distance from the required build-to-zone.
- [3] If off-street parking, located at the applicable SCD street frontage type parking setback line, is clearly visible from the SCD street, then it shall be adequately screened by landscaping treatment or else the construction of an SCD street wall (20 to 40 inches in

height along the required build-to-zone) shall be required.

[4] If off-street parking is the long-term design for the remaining required build-to-zone SCD street frontage, then the lot shall be served by one curb cut and any other existing curb cuts shall be closed. A second curb cut may be allowed by the Planning Board if it is in the interest of public safety.

[5] If the parcel abuts adjacent developable land or existing SCD streets or right-of-way, then the access drive shall be built to the allowable SCD street frontage type to encourage future development and connectivity.

[6] If off-street parking is the long-term plan for the remaining required build-to-zone frontage, the required SCD streetscape for the existing SCD street frontage type shall be installed at the time of construction.

(e) If a proposed building on an SCD Town Center, SCD Town Avenue or SCD Town Main street frontage type is greater than 50 linear feet along the applicable minimum SCD street frontage, the applicant shall demonstrate compliance with the following standards:

[1] The lot shall be limited to one curb cut. Any other existing curb cuts shall be closed. A second curb cut may be allowed by the Planning Board if it is in the interest of public safety.

[2] The applicable SCD street frontage type building standards shall be met and the building configuration shall be articulated into more than one form using changes in architectural features such as dormers, materials or fenestration.

[3] The SCD streetscape required by the applicable SCD street frontage type shall be installed and maintained at the time of construction at the expense of the developer.

(6) Supplemental Planning Board Review in the Sebago Lake Village District. For any project triggering supplemental Planning Board review within the Sebago Lake Village District, the review process shall be as follows:

(a) On SLV Core, SLV Fringe, and SLV Gateway street frontage types, applicants for developments that do not utilize the applicable required parking spaces, but choose to create additional parking spaces above applicable required parking spaces, must demonstrate to the Planning Board a clear need for the additional spaces based on the needs of the proposed use.

(b) On SLV Core, SLV Fringe, and SLV Gateway street frontage types, parcels that are less than 20,000 square feet in area are required to receive a minimum lot size reduction permit from the Code Enforcement Officer prior to grant of any Planning Board approval or issuance of any building permit, whichever occurs first, as applicable. Only lots served by public water

are eligible for a minimum lot size reduction permit.

- (c) On SLV Core, SLV Fringe, and SLV Gateway street frontage types, applicants for developments that do not meet the applicable FBCVD street frontage type minimum FBCVD street frontage required build-to-zone must demonstrate compliance with the following standards:

- [1] The proposed new building is placed on the lot to the minimum setback on one side of the lot frontage so as to accommodate future parcel subdivision and/or building development on the remainder of the parcel.
- [2] Identification on the site plan to which side setback the parcel building shall be placed, the size of the building, the location of parking, the location of driveway egress and how remaining frontage shall be subdivided (if applicable) and how remaining frontage shall be treated to maintain a building wall or permanently screen parking the required distance from the required build-to-zone.
- [3] If off-street parking, located at the applicable street frontage type parking setback line, is clearly visible from the SLVD street, then it shall be adequately screened by landscaping treatment or else the construction of an FBCVD street wall (20 to 40 inches in height along the required build-to-zone) shall be required.
- [4] If the parcel abuts adjacent developable land or existing SLVD streets or right-of-way, then the access drive shall be built to the allowable SLVD street frontage type to encourage future development and connectivity.
- [5] If off-street parking is the long-term plan for the remaining required build-to-zone frontage, the required SLVD streetscape for the existing street frontage type shall be installed at the time of construction.

- (d) If a proposed building on an SLV Core, SLV Fringe, and SLV Gateway street frontage type is greater than 50 linear feet along the applicable minimum SLVD street frontage, the applicant shall demonstrate compliance with the following standards:

- [1] The lot shall be limited to one curb cut. Any other existing curb cuts shall be closed. A second curb cut may be allowed by the Planning Board if it is in the interest of public safety.
- [2] The applicable SLVD street frontage type building standards shall be met and the building configuration shall be articulated into more than one form using changes in architectural features such as dormers, materials or fenestration.
- [3] The SLVD streetscape required by the applicable street frontage type shall be installed and maintained at the time of construction at the expense of the developer.

(7) General Standards.

- (a) All developments in a Form Based Code Village District, except for a new single-family dwelling located on a lot of record created prior to the district, shall include buried utilities and shall be on public water unless a waiver is granted per § **181-35.9** of this chapter.
- (b) Each FBCVD street frontage type has a range of activities that may trigger a supplemental Planning Board review.

(c) Building form standards:

- [1] These standards are applicable to all street frontage types except residential streets and applicable to all uses except single-family homes. The Planning Board may waive elements of these building form standards provided that it finds the overall intentions of the district and street frontage type are being met.
- [2] The style of a building shall be consistent throughout a single development. There are numerous 19th Century buildings in Standish that provide inspiration for the design of a building that is consistent with the Colonial New England character of the Village.
- [3] Franchise architecture shall not define the style of the building. Corporate identity shall be secondary to the overall character and form of the building. A building shall not function as a sign for a particular brand.
- [4] Careful attention shall be given to the total design of the building, including, but not limited to, pitched roofs, eaves, dormers, cornices, trim, materials, proportion, massing and the rhythm of architectural features such as windows, doors and columns.

(d) Window and door to facade ratios:

- [1] Standish Corner District: Blank lengths of wall exceeding 20 linear feet are prohibited in all RBZs. Walls in RBZs shall have windows or doors spaced no more than 20 feet apart. Building facades may include jogs of up to 18 inches.
- [2] Sebago Lake Village District: Blank lengths of wall exceeding 25 linear feet are prohibited facing any SLVD street. Building facades may include jogs to articulate entrances, break down the form of the building or create outdoor areas for seating or the display of goods
- [3] The percentage of fenestration (windows and other openings) in a building facade shall be between 30% and 90%.

(e) Building projections:

- [1] Awnings, porches and stoops shall not project closer than five feet to a common lot line.
- [2] No part of any building, except projecting signage, overhanging eaves, balconies and awnings, shall encroach beyond the minimum required setback. An eight-foot clearance must be maintained between the ground and the bottom of the projecting encroachment. The top of projecting signage or awnings shall not be placed higher than the second-story floor.
- [3] Awnings on business and commercial buildings shall have a minimum depth of six feet. Awnings shall have no side panels or soffit and shall be rectangular in elevation and triangular in cross-section. Awnings shall not screen architectural details. Awnings shall be non-translucent and shall not be backlit. All awnings on a building shall be identical in color and form.
- [4] Porches and colonnades shall be a minimum of eight feet deep.
- [5] Columns, piers or posts supporting a porch or colonnade shall be vertically proportioned with the overall facade composition.

(f) Doors/entries:

- [1] All buildings must have a functioning entry door on facades facing the primary FBCVD street. Functioning entry doors shall be provided along façades at intervals of not greater than 50 linear feet. Entry doors shall be emphasized by detailing, massing, changes in material or other architectural method.
- [2] Loading docks, overhead doors, and other service entries are prohibited on FBCVD street facing facades. Overhead doors existing as of the effective date of this ordinance may be retained.

(g) Building walls:

- [1] Window and door openings shall not span vertically more than one story.
- [2] Window openings shall correspond to interior space and shall not span across building structure such as floor structural and mechanical thickness.
- [3] Wall materials shall be consistent horizontally (i.e., joints between different materials must be horizontal and continue around corners), except for chimneys and piers. Durable wall materials shall be used, such as brick, clapboard, wood shingles or stone. Synthetic or composite siding materials are acceptable if they are substantially identical in appearance as natural materials and of equal or greater durability. Concrete block, split face block, multicolored brick, asphalt shingles, T-111 and plywood are prohibited. Metal

siding is permissible only on Gateway street frontage types.

- [4] Material changes shall be made within constructional logic - as where an addition (of a different material) is built onto the original building. Consideration shall be given to the quality of the materials and design on all sides of a building with emphasis on the sides visible from streets or drives.
- [5] Facade articulations are required to reduce the apparent length, monotony and mass of larger buildings, creating the illusion of several smaller buildings with common walls and a consistent rhythm of facades. No facade shall exceed 50 feet without an interruption of the horizontal plane of the wall of a minimum of three feet.
- [6] Design elements that add depth and visual interest to a building facade such as mixing materials and colors, decorative trim and molding, cornice details, stepped facades and columns are encouraged. Decorative elements shall be consistent with the architectural character of the building and scaled appropriately.

(h) Roofs:

- [1] One-story buildings shall have a pitched roof between 6:12 and 14:12 except on Town Gateway streets, where one-story buildings with flat roofs are allowed. Pitched roofs shall be a symmetrical gable, hip, gabled hip, hipped gable, flared hipped or cross gable. Roof design shall be used as a method for breaking up the mass of the building.
- [2] Buildings over 50 feet in length with symmetrical gabled pitched roofs shall break up the roof with multiple dormers proportioned and coordinated with the overall facade design. Dormers, except for horizontally proportioned shed dormers, shall include a vertically proportioned window matching the overall building design. The window shall light a finished or unfinished habitable space.
- [3] Natural roof ventilation using linear soffit vents, ridge vents and dormer vents is required. Exposed roof vents such as turbines or power roof ventilators are not permitted.
- [4] Gutters, downspouts and projecting drainpipes shall be made of galvanized steel or painted aluminum to match the fascia or wall material. Downspouts shall be integrated with the facade design and generally placed at the corner of buildings. Downspouts shall be connected to rain barrels or underground drainage systems or cisterns.
- [5] Flat roofs are only allowed on buildings with two or more floors except on Town Gateway streets, where one-story flat-roof buildings are allowed. The second floor must be occupiable or designed to be occupied in the future per all applicable codes. Flat roofs shall be enclosed by parapets a minimum height of 42 inches or as required to conceal the view of mechanical equipment.

[6] The cornice of a flat-roof building shall be between 1/15 and 1/18 of the building height.

(i) Multi-floor buildings:

[1] Multi-floor buildings shall be designed to accommodate a pedestrian scale by providing a sense of "base," "middle" (where applicable) and "top."

[2] Ground-level facades shall be given a "stronger" appearance than upper floors.

Distinction of ground-level facades from other floors shall occur by incorporating a minimum of two of the following features: color change, texture change, fenestration change or material change.

[3] Ground-floor ceiling heights shall be taller than upper stories to emphasize the ground floor as the "base" of the building. Ground-floor ceiling heights of nonresidential buildings shall have a minimum height of 12 feet. Floors above the ground level shall have a minimum height of eight feet.

[4] Middle or second floors of the building shall be made distinct from the ground floor by a change in material or material color, fenestration pattern or other architectural component.

[5] The first floor and upper floors shall have a coordinated composition, which will usually be indicated by the alignment of upper-floor windows and other features with openings and features of the first floor. Entryways shall clearly be the main focus of the front facade.

(j) Street walls: (stone, wrought iron, brick, wood or a combination of materials, etc.) establish a clear edge to the street where the buildings do not define outdoor space and separate the street from the private realm (parking lots, trash disposal bins, gardens, and equipment). Street walls shall be between 20 and 40 inches in height and are permitted along the frontage and common lot lines. All street walls shall be as carefully designed as the building facade, with the finished side out (i.e., the "better" side facing the street).

(k) Windows and doors:

[1] Window glass shall be clear, with light transmission at the ground story at least 90% and at least 75% for the upper stories (modification may be made as necessary to meet any applicable building code requirements).

[2] Doors shall be of wood, glass, clad wood, steel or a combination thereof.

[3] Tinted glass is not allowed. Ultraviolet protection glass of the highest transparency is allowed.

[4] Single glass panes shall be no larger than 20 square feet. Panes shall be separated by muntins.



Above are examples of historic and compatible buildings that utilize traditional window & door placement, massing and roof forms.



Above are examples of historic and compatible buildings that utilize traditional window & door placement, massing and roof forms.

(l) Green building design standards:

[1] Best management practices for energy-efficiency and low-impact development are encouraged. Use of Leadership in Energy & Environmental Design (LEED) standards, established by the United States Green Building Council or similar organizations, is encouraged.

[2] Green roofs on flat-roof buildings are encouraged and may be considered pervious for impervious calculations. Flat-roof buildings shall otherwise use white membrane/high albedo roofing materials.

(m) Parking shall be provided and located in compliance with § 181-7.1 D. Any parking provided that exceeds the minimum amount required must be designed in compliance with § **181-20** (Off-street parking design), § **181-24** (Off-street parking and loading space requirements), and Chapter **140** (Fire Lanes).

(n) All development within a Form Based Code Village District creating more than 10,000 square feet of new impervious surfaces must employ low-impact development (LID) technologies such as, but not limited to, pervious concrete and bituminous concrete, porous

pavers and rain gardens or best management practices (BMPs) as parcels are developed to minimize and treat stormwater runoff. Existing developed areas should be retrofitted with LID or best management practices (BMPs) as parcels are redeveloped to minimize and treat stormwater runoff in a decentralized manner. Refer to LID Guidance for Maine Communities: Approaches for Implementation of Low Impact Development at the Local Level, prepared for the Maine Coastal Program of Maine State Planning Office and dated September 21, 2007, as may be amended from time to time, as a primary resource in addition to ongoing research and field testing of LID/BMPs for northern climates.

- (o) The siting of drive-through windows must be located behind and screened by the principal building, unless otherwise specified in the permitted use sections of each SCD FBCVD street frontage type. Location and design of the access driveway shall minimize impacts on pedestrian activity and comply with the Town of Standish Access Management Standards. Stacking of cars shall not be permitted in an access driveway, and instead the parking lot must be used for stacking. The diagrams below are representative of appropriate site design for drive-throughs that meet these standards.

Conceptual
Retail Service Window Drive-through
Restaurant
Pharmacy



Conceptual
Retail Teller Drive-through
Bank



Pharmacy



Bank

C) FBCVD Dimensional Standards

(1) Lot Size

(a) Standish Corner District Minimum lot sizes:

	Town Center	Town Main	Town Avenue	Town Gateway	Town Residential
Minimum Lot Size	15,000sqft*	15,000sqft*	20,000sqft	20,000sqft	30,000sqft

* Lots between 15,000 and 20,000 square feet require a minimum lot size reduction permit issued by the Code Enforcement Officer and trigger Supplemental Planning Board Review.

(b) Sebago Lake Village Minimum lot sizes

	Core	Fringe	Gateway	Residential	Res-Collector	Lake Access
Single Family Home	15,000sqft	20,000sqft	40,000sqft† (60,000sqft)	40,000sqft† (60,000sqft)	40,000sqft† (60,000sqft)	No minimum
All Other Uses (per 100 gallons daily design sewage flow)	7,000sqft*	7,000sqft*	15,000sqft* (20,000sqft)	15,000sqft* (20,000sqft)	15,000sqft* (20,000sqft)	No minimum

Minimum lot sizes shown are: with public water and (without public water).

* Lots under 20,000 square feet for uses other than Single Family Homes require a minimum lot size reduction permit issued by the Code Enforcement Officer and trigger Supplemental Planning Board Review.

† Residential lots which are part of a conservation subdivision in the SLVG, SLVR, and SLVRC frontage types have a maximum density of one unit per 30,000 SF of net residential area

(2) FBCVD Right of way widths

(a) For purposes of § 181-7.1, zoning setbacks for the eight-rod-wide range ways commonly known as the "Northeast, Southwest, Northwest and Southeast Roads" shall be measured from the applicable county or state right-of-way limits rather than the eight-rod-wide range way limits, except that in no event shall new private structures be constructed within the limits of the eight-rod-wide range ways.

(b) The FBCVDs contain portions of Route 25, Route 35 and Oak Hill Road with varying associated historic right-of-way (ROW) widths.

[1] The Town right-of-way for the historic eight-rod-wide range way that is now Route 25 from Oak Hill Road to the Gorham Town line is assumed to be eight rods or 132 feet in width.

[2] The portion of Route 35 from its intersection with Route 25 through its intersection with

Route 114 contains an historic eight rod range way.

[3] Oak Hill Road is assumed to have been reduced to a six-rod or ninety-nine-foot-wide right-of-way as per a plan titled "Oak Hill Road Right of Way Survey for the Town of Standish," by Roberts Libby, PLS No. 2190, of BH2M Engineers, dated April 1997.

[4] The portion of Route 25 running from Oak Hill Road towards Limington is assumed to contain a four-rod or sixty-six-foot-wide right-of-way.

(3) Building and Parking Placement and Form

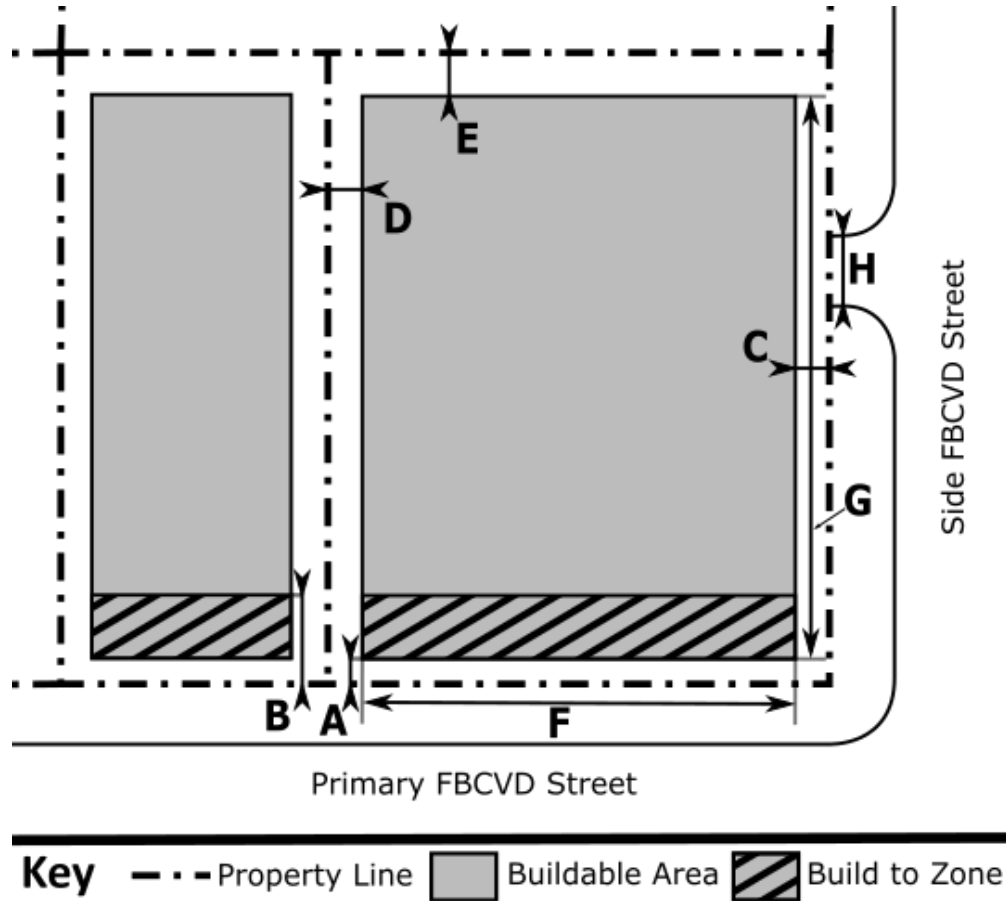


	Figure Key	Town Center	Town Main	Town Avenue	Town Gateway	Town Residential
Minimum Front Setback	A	-	-	15'	50'	15'±
Maximum Front Setback*	B	10'	15'	30'	-	25'
Side Street Setback	C	-	15'	10'	15'	15'
Side Setback	D	5'	10'	10'	15'	15'
Rear Setback	E	10'	10'	10'	10'	10'
Primary BtZ Percentage	F	60%-80%	50%- 80%	50%-80%	-	-

Side BtZ Percentage	G	30% min	30% min	30% min	-	-
Front Parking Setback		20'	20'	20'	20'	40'‡
Side/Rear Parking Setback†		5'	5'	5'	5'	15'
Min Building Height		16'	16'	16'	16'	20'
Max Building Height		35'	35'	35'	35'	35'

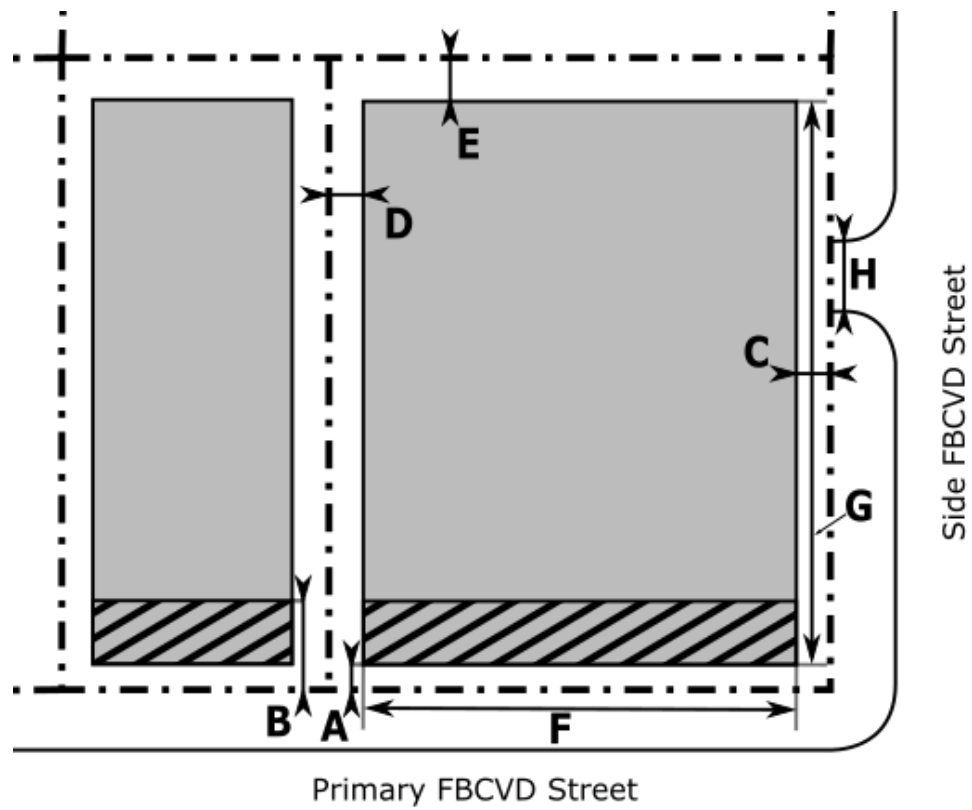
(a) Standish Corner District standards

* For properties where adjacent buildings are set back more than the maximum allowed front setback, the front setback may be set to align with the front building face of the least non-conforming, immediately adjacent property or double the maximum setback in that zone, whichever is less.

† Parking must be setback a minimum of 15' from properties solely in residential use. Parking areas shared between lots or accessed through shared curb cuts are exempt from setbacks on the shared lot line.

‡ On properties with a primary residential use in the Town Residential street frontage type; porches and driveway parking may be placed within front setbacks provided they do not impact visibility and public safety.

(b) Sebago Lake Village District Standards



Key - - - Property Line Buildable Area Build to Zone

	Figure Key	Core	Fringe	Gateway	Res. Connector	Residential	Lake Access
Minimum Front Setback	A	0'	15'	50'*	25'*	25'*	25'
Maximum Front Setback**	B	10'	25'	-	-	-	-
Side Street Setback	C	0'	10'	25'	25'	25'	25'
Side Setback	D	10'	10'	15'	15'	15'	25'
Rear Setback	E	10'	10'	15'	10'	10'	25'
Primary RBZ Percentage	F	60%-80%	30%-50%	-	-	-	-
Side RBZ	G	-	-	-	-	-	-

Percentage							
Front Parking Setback‡		Parking may not be closer to the front property line than the front of the primary structure.					
Side/Rear Parking Setback†		5'	5'	10'	10'	10'	25'
Min Building Height	20'	20'	20'	20'	20'	20'	20'
Max Building Height	35'	35'	35'	35'	35'	35'	35'

- * For properties in the Gateway, Residential, and Residential Connector street frontage types where adjacent buildings are set back less than the minimum allowed setback the front set back may be set to align with the front face of the least non-conforming, immediately adjacent property or half the minimum setback, whichever is more.
- ** For properties where adjacent buildings are set back more than the maximum allowed front setback, the front setback may be set to align with the front building face of the least non-conforming, immediately adjacent property or double the maximum setback, whichever is less.
- † Parking must be setback a minimum of 15' from properties solely in residential use. Parking areas shared between lots or accessed through shared curb cuts are exempt from setbacks on the shared lot line.
- ‡ On properties with a primary residential use driveway parking may be placed within front setbacks provided it does not impact visibility and public safety.

D) FBCVD Parking Standards

(1) Standish Corner Parking Standards

(a) Required spaces:

- [1] Residential uses: 1 per unit
- [2] Non-residential uses
 - [a] Ground Floor <3,000sqft: 1 per 200sqft of floor space
 - [b] Ground Floor >3,000sqft: 1 per 400sqft of floor space

[c] Upper Floor: 1 per 600sqft of floor space

- (b) In the Town Center, Town Main, and Town Avenue street frontages, fifty percent of the parking requirement may be provided off site within 1,300 feet with approval of the Planning Board. Off site parking must have evidence of perpetual right of owner, his/her/its successors, and assigns to use off-site parking by instrument recorded at Registry of Deeds.
- (c) In the Town Center, Town Main, and Town Avenue street frontages fifty percent of on site parking may utilize compact parking space dimensions.

(2) Sebago Lake Village Parking Standards

(a) Required spaces:

- [1] Residential uses: 1 per unit
- [2] Non-residential
 - [a] Ground floor <3,000sqft: 1 per 200sqft of floor space
 - [b] Ground floor >3,000sqft: 1 per 400sqft of floor space
 - [c] Upper floor 1 per 600sqft of floor space

- (b) In the SLV Core, SLV Fringe, and SLV Gateway street frontages, fifty percent of the parking requirement may be provided off site within 1,000 feet with approval of the Planning Board. Off site parking must have evidence of perpetual right of owner, his/her/its successors, and assigns to use off-site parking by instrument recorded at Registry of Deeds.
- (c) In the SLV Core, SLV Fringe, and SLV Gateway street frontages fifty percent of on site parking may utilize compact parking space dimensions.

E) Standish Corner District Standards.

(1) Town Center (TC) standards.

- (a) For structures or additions to structures created after June 7, 2011, residential uses are prohibited on the ground floor.
- (b) Maximum building floor area: none
- (c) Parking drives must be a minimum of 16 feet in width or as required by the Standish Fire Department. Shared drives are encouraged between adjacent lots to minimize curb cuts. On corner lots, parking drive shall not be located on the primary SCD street unless shared with a non-corner lot.

(d) SCD street space standards (TC)

Location (width distances)

Sidewalk required	8 feet (both sides)	U
Amenity zone	8 feet for 66-foot-wide right-of-way	V
Shoulder	6 feet (two lanes)	W
Travel Lanes	11 feet (two lanes)	X

(e) Lot width and block length (TC).

Lot width	No minimum
Block length	250 feet minimum to 450 feet maximum

(f) Supplemental Planning Board review triggers (TC).

- [1] Proposed or existing buildings not meeting minimum RBZ SCD street frontage requirement
- [2] Proposed projects not utilizing TC required parking spaces
- [3] Proposed buildings more than 50 feet along RBZ SCD street frontage
- [4] Proposed lot less than 20,000 square feet but greater than or equal to 15,000 square feet
- [5] Proposed building footprint over 5,000 square feet.

(g) Town Center (TC) allowed land uses and permit requirements (TC).

- [1] Uses not listed are not permitted. Nonconforming uses and structures existing as of the date of adoption of the Standish Corner District are subject to standards of Article **V** (Nonconforming Uses). When site plan review is triggered by a proposed change in use and/or structure, the use and/or structure shall comply with applicable SCD street frontage type standards to the greatest extent practicable as determined by the Planning Board.
- [2] Planning Board review is required for new construction, expansion, reconstruction and subdivision, but only Code Enforcement Officer approval is required for subsequent changes in use in existing structures that meet all of the following:
 - [a] Do not increase anticipated traffic volumes by more than 10%;
 - [b] Do not change vehicular traffic patterns;

- [c] Do not increase parking requirements by more than 10%;
 - [d] Do not change the exterior visual appearance of buildings and continue to meet the applicable SCD street frontage type standards; and
 - [e] That are allowed uses in the applicable SCD street frontage type.
- [3] Permitted uses, not requiring site plan review, shall be as follows. Such uses shall require approval from the Code Enforcement Officer only:
- [a] Accessory uses and buildings.
 - [b] Agriculture.
 - [c] Dwelling, one unit. (must comply with § 181-7.1 E.1.a)
 - [d] Dwelling, two units. (must comply with § 181-7.1 E.1.a)
 - [e] Home occupation Level 1.
 - [f] Home occupation Level 2.
 - [g] Home occupation Level 3.
 - [h] Home retail sales.
 - [i] Outdoor display and sales.
 - [j] Solar energy system, roof-mounted.
 - [k] Solar energy system, small-scale.
 - [l] Tradesman.
 - [m] Yard or garage sale.
- [4] Permitted uses requiring site plan or subdivision review shall be as follows. Such uses shall require Planning Board approval, in accordance with Part **2** or Part **3** of this chapter:
- [a] Art center - indoor.
 - [b] Art gallery/museum.
 - [c] Bed-and-breakfast.

[d] Business professional building.

[e] Convenience store.

[f] Day care, provided that the use is in a lawfully existing structure that has existed since at least June 7, 2011.

[g] Dwelling, multi-family. (must comply with § 181-7.1 E.1.a)

[h] Dwelling, three family. (must comply with § 181-7.1 E.1.a)

[i] Inns.

[j] Mechanical Repair Garage

[k] Motor Vehicle Sales

[l] Municipal uses.

[m] Public utility.

[n] Restaurant (includes outdoor dining).

[o] Retail businesses.

[p] Schools.

(h) SCD streetscape standards (TC).

[1] Sidewalks and curbs:

[a] Brick, brick pavers and/or concrete (pervious/porous materials encouraged; fly ash concrete encouraged).

[b] Vertical granite curbing.

[2] Lighting:

[a] Light-emitting diodes (LEDs) encouraged.

[b] Full cutoff fixtures required.

[c] Pedestrian-scaled lighting 30 feet on center or SCD street-scaled lighting a maximum of 90 feet on center staggered along both sides of the SCD street.

[3] SCD street trees: Salt and urban tolerant. Three-inch minimum caliper. Thirty feet on center. Tree trunk shall be a minimum of three feet from curblineline or edge of shoulder.

[4] Signage:

[a] Building-mounted in signable area: maximum 32 square feet.

[b] Building-mounted by entrances serving second floor: maximum four square feet, including all tenants.

[c] Projecting: minimum eight-foot clearance; maximum six square feet.

[d] Sandwich boards: four square feet maximum.

[e] No signs permitted above second-story floor, including signs in windows.

[f] Sandwich boards permitted during hours of operation; may not impede pedestrian movement.

[g] Only externally lit signs are permitted with the use of light-emitting diodes (LEDs) encouraged.

[h] Cutoff light fixtures required.

[i] Light-emitting diodes (LEDs) encouraged.

[j] Wood, composite, or metal materials only.

[k] Neon signs not permitted.

[5] Low-impact development standards: Utilize as feasible as defined in § **181-7.1A**.

(2) Town Main (TM) standards.

(a) For structures or additions to structures created after June 7, 2011, residential uses are prohibited on the ground floor.

(b) Maximum building floor area not to exceed 40,000 square feet.

(c) Parking drives must be a minimum of 16 feet in width or as required by the Standish Fire Department. Shared drives are encouraged between adjacent lots to minimize curb cuts. On corner lots, parking drive shall not be located on the primary SCD street unless shared with a non-corner lot.

(d) SCD street space standards (TM)

Location (width distances)

Sidewalk required	8 feet (both sides)	U
On-SCD Street Parking	8 feet (both sides)	V
Bike Lane	5 feet (two lanes)	W
Travel Lanes	11 feet (existing)	X

(e) Lot width and block length (TM).

Lot width	no minimum
Block Length	250 feet minimum to 450 feet maximum

(f) Supplemental Planning Board review triggers (TM).

- [1] Proposed building footprint over 5,000 square feet
- [2] Proposed or existing buildings not meeting minimum RBZ SCD street frontage requirement
- [3] Proposed projects not utilizing TM required parking spaces
- [4] Proposed buildings wider than 50 feet along RBZ SCD street frontage
- [5] Proposed lot less than 20,000 square feet but greater than or equal to 15,000 square feet

(g) Town Main (TM) allowed land uses and permit requirements (TM).

- [1] Uses not listed are not permitted. Nonconforming uses and structures existing as of the date of adoption of the Standish Corner District are subject to standards of Article **V** (Nonconforming Uses). When site plan review is triggered by a proposed change in use and/or structure, the use and/or structure shall comply with applicable SCD street frontage type standards to the greatest extent practicable as determined by the Planning Board.
- [2] Planning Board review is required for new construction, expansion, reconstruction and subdivision, but only Code Enforcement Officer approval is required for subsequent uses in existing structures that meet all of the following:
 - [a] Do not increase anticipated traffic volumes by more than 10%;
 - [b] Do not change vehicular traffic patterns;
 - [c] Do not increase parking requirements by more than 10%;

- [d] Do not change the exterior visual appearance and continue to meet the applicable SCD street frontage type standards; and
 - [e] That are allowed uses in the applicable SCD street frontage type.
- [3] Permitted uses, not requiring site plan review, shall be as follows. Such uses shall require approval from the Code Enforcement Officer only:
- [a] Accessory uses and buildings.
 - [b] Agriculture.
 - [c] Dwelling, one unit. (must comply with § 181-7.1 E.2.a)
 - [d] Dwelling, two units. (must comply with § 181-7.1 E.2.a)
 - [e] Family apartment (grandfathered single-family home only).
 - [f] Home occupation Level 1.
 - [g] Home occupation Level 2.
 - [h] Home occupation Level 3.
 - [i] Home retail sales.
 - [j] Outdoor display and sales.
 - [k] Solar energy system, roof-mounted.
 - [l] Solar energy system, small-scale.
 - [m] Tradesman.
 - [n] Yard or garage sale.
- [4] Permitted uses requiring site plan or subdivision review shall be as follows. Such uses shall require Planning Board approval, in accordance with Part **2** or Part **3** of this chapter:
- [a] Adult day care.
 - [b] Art center — indoor.
 - [c] Art gallery/museum.

- [d] Bed-and-breakfast.
- [e] Business professional building.
- [f] Car wash village.
- [g] Churches.
- [h] Day-care center, provided that the use is in a lawfully existing structure that has existed since at least June 7, 2011.
- [i] Convenience store.
- [j] Dwelling, multi-family. (must comply with § 181-7.1 E.2.a)
- [k] Dwelling, three family. (must comply with § 181-7.1 E.2.a)
- [l] Flea market.
- [m] Fueling station.
- [n] Health care facility.
- [o] Home care services (grandfathered single-family homes only).
- [p] Hotel.
- [q] Indoor amusements and recreation.
- [r] Inns.
- [s] Outdoor recreation limited.
- [t] Mechanical repair garages.
- [u] Municipal uses.
- [v] Private clubs.
- [w] Public utility.
- [x] Research facility.
- [y] Residential care facility.

[z] Retail businesses.

[aa] Restaurant.

[bb] Restaurant, drive-through.

[cc] Schools.

[dd] Veterinary clinics.

(h) SCD streetscape standards (TM).

[1] Sidewalks and curbs.

[a] Asphalt, brick, brick pavers and/or concrete (pervious/porous materials encouraged; fly ash concrete encouraged).

[b] Asphalt or granite. (Curbing is not required where there is no on-SCD street parking or where low-impact development stormwater standards are implemented.) A two-foot clear zone shall be maintained between the curb and/or SCD street shoulder and any SCD streetscape amenities.

[2] Lighting:

[a] Light-emitting diodes (LEDs) encouraged.

[b] Full cutoff fixtures required.

[c] Pedestrian-scaled lighting 30 feet on center or SCD street-scaled lighting 90 inches on center staggered along both sides of the SCD street.

[3] SCD street trees: Salt and urban tolerant. Three-inch minimum caliper. Thirty feet on center. Tree trunk shall be a minimum of three feet from curblane or edge of shoulder.

[4] Signage:

[a] Building-mounted in signable area: maximum 32 square feet.

[b] Post-mounted: maximum 32 square feet. Bottom of sign no lower than four feet and top of sign no higher than eight feet.

[c] Building-mounted by entrances serving second floor: maximum four square feet, including all tenants.

- [d] Projecting: minimum eight-foot clearance; maximum six square feet.
- [e] Sandwich boards: four square feet maximum.
- [f] No signs permitted above second-story floor, including signs in windows.
- [g] Sandwich boards permitted during hours of operation; may not impede pedestrian movement.
- [h] Only externally lit signs are permitted with the use of light-emitting diodes (LEDs) encouraged.
- [i] Cutoff light fixtures required.
- [j] Light-emitting diodes (LEDs) encouraged.
- [k] Wood, composite, or metal materials only.
- [l] Neon signs not permitted.

[5] Low-impact development standards: Utilize as feasible as defined in § **181-7.1A**.

(4) Town Avenue (TA) standards.

- (a) For structures or additions to structures created after June 7, 2011, residential uses are prohibited on the ground floor.
- (b) Maximum building floor area not to exceed 30,000 square feet
- (c) Parking drives must be a minimum of 16 feet in width or as required by the Standish Fire Department. Shared drives are encouraged between adjacent lots to minimize curb cuts. On corner lots, parking drive shall not be located on the primary SCD street unless shared with a non-corner lot.
- (d) SCD street space (TA).

Location (width distances)

Amenity Zone	5 feet (both sides)	V
On-SCD Street Parking	8 feet (both sides)	W
Bike Lane	5 feet (both sides)	X
Travel Lanes	11 feet (two lanes)	Y

(e) Lot width and block length (TA).

Lot width	no minimum
Block Length	250 feet minimum to 450 feet maximum (new SCD streets)

(f) Supplemental Planning Board review triggers (TA).

- [1] Proposed building footprint over 5,000 square feet
- [2] Proposed or existing buildings not meeting minimum RBZ building placement
- [3] Proposed projects not utilizing TA required parking spaces
- [4] Proposed buildings more than 50 feet wide along RBZ

(g) Town Avenue (TA) allowed land uses and permit requirements (TA).

- [1] Uses not listed are not permitted. Legally nonconforming uses and structures existing as of the date of adoption of the Standish Corner District are subject to standards of Article V (Nonconforming Uses). When site plan review is triggered by a proposed change in use and/or structure, the use and/or structure shall comply with applicable SCD street frontage type standards to the greatest extent practicable as determined by the Planning Board.
- [2] Planning Board review is required for new construction, expansion, reconstruction and subdivision, but only Code Enforcement Officer approval is required for subsequent uses in existing structures that meet all of the following:
 - [a] Do not increase anticipated traffic volumes by more than 10%;
 - [b] Do not change vehicular traffic patterns;
 - [c] Do not increase parking requirements by more than 10%;
 - [d] Do not change the exterior visual appearance of structures and continue to meet the applicable SCD street frontage type standards; and
 - [e] That are allowed uses in the applicable SCD street frontage type.
- [3] Permitted uses, not requiring site plan review, shall be as follows. Such uses shall require approval from the Code Enforcement Officer only:
 - [a] Accessory uses and buildings.
 - [b] Agriculture.
 - [c] Dwelling, one unit. (must comply with § 181-7.1 E.3.a)

- [d] Dwelling, two unit. (must comply with § 181-7.1 E.3.a)
 - [e] Family apartment (only with grandfathered single-family homes).
 - [f] Home occupation Level 1.
 - [g] Home occupation Level 2.
 - [h] Home occupation Level 3.
 - [i] Home retail sales.
 - [j] Solar energy system, roof-mounted.
 - [k] Solar energy system, small-scale.
 - [l] Outdoor display and sales.
 - [m] Yard or garage sale.
- [4] Permitted uses requiring site plan or subdivision review shall be as follows. Such uses shall require Planning Board approval, in accordance with Part **2** or Part **3** of this chapter:
- [a] Art center - indoor.
 - [b] Art gallery/museum.
 - [c] Business professional building.
 - [d] Churches (must utilize on-SCD street parking or create shared parking).
 - [e] Convenience store.
 - [f] Dwelling, multi-family. (must comply with § 181-7.1 E.3.a)
 - [g] Dwelling, three family (must comply with § 181-7.1 E.3.a)
 - [h] Elderly housing.
 - [i] Flea market.
 - [j] Hospital (new Town Avenue SCD street frontage type only).
 - [k] Indoor amusements and recreation.

- [l] Inns.
- [m] Medical clinics.
- [n] Municipal uses.
- [o] Outdoor recreation limited.
- [p] Public utility.
- [q] Residential care.
- [r] Restaurant (includes outdoor dining).
- [s] Restaurant, drive-through.
- [t] Retail businesses.
- [u] Schools.
- [v] Village housing.

(h) SCD streetscape standards (TA).

[1] Sidewalks and curbs:

- [a] Brick, brick pavers and/or concrete (pervious/porous materials encouraged; fly ash concrete encouraged).
- [b] Vertical granite curbing. A two-foot clear zone shall be maintained between the curb and/or SCD street shoulder and any SCD streetscape amenities.

[2] Lighting:

- [a] Light-emitting diodes (LEDs) encouraged.
- [b] Full cutoff fixtures required.
- [c] Pedestrian-scaled lighting 30 feet on center or SCD street-scaled lighting a maximum of 90 feet on center staggered along both sides of the SCD street.

[3] SCD street trees: Salt and urban tolerant three-inch minimum caliper. Thirty feet on center. Tree trunk shall be a minimum of two feet from curblane or edge of shoulder.

[4] Signage:

- [a] Building-mounted in signable area: maximum 32 square feet.
- [b] Building-mounted by entrances serving second floor: maximum four square feet, including all tenants.
- [c] Projecting: minimum eight-foot clearance; maximum six square feet.
- [d] Sandwich board: four square feet maximum.
- [e] No signs permitted above second-story floor, including signs in windows.
- [f] Sandwich boards permitted during hours of operation only; shall not impede pedestrian movement.
- [g] Only externally lit signs are permitted with the use of light-emitting diodes (LEDs) encouraged.
- [h] Cutoff light fixtures required.
- [i] Light-emitting diodes (LEDs) encouraged.
- [j] Wood, composite, or metal materials only.
- [k] Neon signs not permitted.

[5] Low-impact development standards: Utilize as feasible as defined in § **181-7.1A**.

(5) Town Gateway (TG) standards

- (a) For structures or additions to structures created after June 7, 2011, residential uses are prohibited on the ground floor.
- (b) Maximum building floor area: 40,000 square feet
- (c) Parking drives must be a maximum of 24 feet in width or as required by the Standish Fire Department. Shared drives are encouraged between adjacent lots to minimize curb cuts. On corner lots, parking drive shall not be located on the primary SCD street unless shared with a non-corner lot.
- (d) SCD street space (TG).

Location (width distance)

Paved Shoulder	5 feet (both sides)	N
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Travel Lanes 11 feet (existing) **O**

(e) Lot width and block length (TG).

Lot width	200 feet minimum
Block length	no minimum or maximum

(f) Supplemental Planning Board review triggers (TG).

- [1] Proposed building footprint over 5,000 square feet
- [2] Proposed projects not utilizing TC required parking spaces

(g) Town Gateway (TG) Zone allowed land uses and permit requirements (TG).

- [1] Uses not listed are not permitted. Nonconforming uses and structures existing as of the date of adoption of the Standish Corner District are subject to standards of Article V (Nonconforming Uses). When site plan review is triggered by a proposed change in use and/or structure, the use and/or structure shall comply with applicable SCD street frontage type standards to the greatest extent practicable as determined by the Planning Board.
- [2] Planning Board review is required for new construction, expansion, reconstruction and subdivision, but only Code Enforcement Officer approval is required for subsequent uses in existing structures that meet all of the following:
 - [a] Do not increase anticipated traffic volumes by more than 10%;
 - [b] Do not change vehicular traffic patterns;
 - [c] Do not increase parking requirements by more than 10%;
 - [d] Do not change the exterior visual appearance of structures and continue to meet the applicable SCD street frontage type standards; and
 - [e] That are allowed uses in the applicable SCD street frontage type.
- [3] Permitted uses, not requiring site plan review, shall be as follows. Such uses shall require approval from the Code Enforcement Officer only:
 - [a] Accessory apartment.
 - [b] Accessory uses and buildings.

- [c] Agriculture.
- [d] Dwelling, single family.
- [e] Dwelling, two family.
- [f] Family apartment.
- [g] Home occupation Level 1.
- [h] Home occupation Level 2.
- [i] Home occupation Level 3.
- [j] Home retail sales.
- [k] Outdoor display and sales.
- [l] Solar energy system, roof-mounted.
- [m] Solar energy system, small-scale.
- [n] Tradesman.
- [o] Yard or garage sale.

[4] Permitted uses requiring site plan or subdivision review shall be as follows. Such uses shall require Planning Board approval, in accordance with § **181-7.1** and Part **2** and Part **3** of this chapter:

- [a] Adult day care.
- [b] Art gallery/museum.
- [c] Business professional building.
- [d] Churches.
- [e] Cluster development.
- [f] Convenience store (with fueling pumps to side only).
- [g] Collision repair garage.
- [h] Day-care center.

- [i] Day-care home.
- [j] Dwelling, multi-family.
- [k] Dwelling, three family
- [l] Elderly housing.
- [m] Flea market.
- [n] Fueling station.
- [o] Greenhouses.
- [p] Health care facility.
- [q] Heavy-duty repair garage.
- [r] Hotel.
- [s] Home care services.
- [t] Indoor amusements and recreation.
- [u] Mechanical repair garage.
- [v] Motel.
- [w] Motor Vehicle Sales
- [x] Municipal uses.
- [y] Outdoor recreation.
- [z] Private clubs.
- [aa] Public utility
- [bb] Research facility.
- [cc] Retail businesses (drive-through located behind the building).
- [dd] Residential care facility.
- [ee] Restaurant.

[ff] Restaurant, drive-through (side or behind the building).

[gg] Social events center.

[hh] Storage facilities.

[ii] Veterinary clinics.

[jj] Village housing.

[kk] Warehouse.

(h) SCD streetscape standards (TG). These standards are applicable when varying from existing standards for site plan review.

[1] Sidewalks and curbs:

[a] Sidewalks not required.

[b] Curbing not required.

[2] Site lighting:

[a] Light-emitting diodes (LEDs) encouraged.

[b] Full cutoff fixtures required.

[3] Buffering:

[a] All existing trees three-inch caliper and larger shall be preserved in setbacks. In the front setback deciduous trees may be limbed to eight feet.

[b] Undergrowth may be removed and replaced with shade-tolerant understory plants in natural groupings of six every 30 feet.

[c] If existing buffering does not exist, a landscape buffer natural in appearance shall be installed every 100 feet, including:

(i) Two-inch caliper trees in two groups of three.

(ii) Eight-foot-tall evergreens shall be planted in two groups of three.

(iii) Two-foot-tall shrubs in six groups of three.

[d] All landscaping shall be maintained and replaced if necessary to maintain the required buffering.

[4] Signage:

[a] Building-mounted in signable area: maximum 100 square feet.

[b] Post-mounted: maximum 32 square feet; bottom of sign no lower than four feet and no higher than eight feet.

[c] Building-mounted by entrances serving second floor: maximum four square feet, including all tenants.

[d] Projecting: minimum eight-foot clearance.

[e] No signs permitted above second-story floor, including signs in windows.

[f] Externally lit signs only; cutoff light fixtures required.

[g] Light-emitting diodes (LEDs) encouraged.

[h] Wood, composite, or metal materials only.

[i] Neon signs not permitted.

[5] Low-impact development standards: Utilize as feasible as defined in § **181-7.1A**.

(6) Town Residential (TR) standards.

(a) Maximum building floor area: none

(b) Parking drives must be a maximum of 12 feet in width or as required by the Standish Fire Department. Parking drives shall be located on the primary SCD street.

(c) SCD street space standards (TR)

Location (width distances)

Rain Garden	6 feet (one side)
On-SCD street parking	Allowed on new TR only, on one side
Roadway	22 feet

(d) Lot width and block length (TR)

Lot width	80 feet minimum to 150 feet maximum (no minimum or maximum lot width for village housing or elderly housing)
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Block length 400 feet minimum to 1,200 feet maximum

(e) Supplemental Planning Board review triggers (TR): none

(f) Town Residential (TR) allowed land uses and permit requirements (TR).

- [1] Uses not listed are not permitted. Nonconforming uses and structures existing as of the date of adoption of the Standish Corner District are subject to standards of Article V (Nonconforming Uses). When site plan review is triggered by a proposed change in use and/or structure, the use and/or structure shall comply with applicable SCD street frontage type standards to the greatest extent practicable as determined by the Planning Board.
- [2] Planning Board review is required for new construction, expansion, reconstruction and subdivision, but only Code Enforcement Officer approval is required for subsequent uses in existing structures that meet all of the following:
 - [a] Do not increase anticipated traffic volumes by more than 10%;
 - [b] Do not change vehicular traffic patterns;
 - [c] Do not increase parking requirements by more than 10%;
 - [d] Do not change the exterior visual appearance and continue to meet the applicable SCD street frontage type standards; and
 - [e] That are allowed uses in the applicable SCD street frontage type.
- [3] Permitted uses, not requiring site plan review, shall be as follows. Such uses shall require approval from the Code Enforcement Officer only:
 - [a] Accessory apartment.
 - [b] Accessory uses and buildings.
 - [c] Agriculture.
 - [d] Dwelling, single family.
 - [e] Dwelling, two family.
 - [f] Family apartment.
 - [g] Home occupation Level 1.

- [h] Home occupation Level 2.
 - [i] Home occupation Level 3.
 - [j] Home retail sales.
 - [k] Solar energy system, roof-mounted.
 - [l] Solar energy system, small-scale.
 - [m] Tradesman.
 - [n] Yard or garage sale.
- [4] Permitted uses requiring site plan or subdivision review shall be as follows. Such uses shall require Planning Board approval, in accordance with Part **2** or Part **3** of this chapter:
- [a] Day-care home.
 - [b] Cluster development.
 - [c] Bed-and-breakfast (limit of four guest rooms).
 - [d] Convenience store (limited to 1,000 square feet and shall be located at an intersection).
 - [e] Church (shall be located at an intersection).
 - [f] Dwelling, multi-family.
 - [g] Dwelling, three family
 - [h] Elderly housing.
 - [i] Public utility.
 - [j] School.
 - [k] Town services.
 - [l] Village housing.
- (g) SCD streetscape, building and buffering standards (TR).
- [1] Sidewalks and curbs:

[a] Asphalt, brick, brick paver or concrete sidewalks (pervious/porous material encouraged; fly ash concrete encouraged).

[b] Asphalt or sloped granite as designed for low-impact development or for defining on-SCD street parking; granite curbing at radius of intersection required.

[2] Lighting:

[a] Light-emitting diodes (LEDs) encouraged.

[b] Full cutoff fixtures required.

[c] SCD street-scaled lighting required at intersections.

[d] Pedestrian (optional) 30 feet to 50 feet on center.

[3] SCD street trees: Salt and urban tolerant. Three-inch minimum caliper, 30 feet to 50 feet on center. Three feet clear of curblane or edge of shoulder.

[4] Buffering:

[a] On-site parking for nonresidential uses shall be buffered with plantings and fencing to minimize visual impacts and glare from headlights.

[b] Waste storage for convenience stores must be completely screened from view. Waste storage for all other uses shall not be visible from the SCD street and buffered from abutters.

[5] Signage (property cannot have both post-mounted and projecting signage):

[a] Single-post-mounted: maximum six square feet; bottom of sign no lower than six feet and top no higher than eight feet.

[b] Building-mounted by entrances serving second floor: maximum four square feet, including all tenants.

[c] Projecting: maximum six square feet.

[d] No signs permitted above second-story floor, including signs in windows.

[e] No lit signs allowed.

[f] Wood, composite, or metal materials only.

[6] Low-impact development standards: Utilize as feasible as defined in § **181-7.1A**.

[7] Green building design standards: Best management practices for energy efficiency and low-impact development are encouraged. Use of LEED design standards as established by the United States Green Building Council or similar organizations is encouraged.

F) Sebago Lake Village District standards.

(1) SLV Core (SLVC) standards

(a) For structures or additions to structures created after August 12, 2014, residential uses may not occupy the portion of the ground floor facing the primary SLVD street.

(b) Maximum building footprint: 5,000sqft

(c) Parking drives must be a minimum of 16 feet in width or as required by the Standish Fire Department. Shared drives are encouraged between adjacent lots to minimize curb cuts.

(d) SLVCD street space standards (SLVC)

Location (width distances)

Travel lanes	12 feet (two lanes)	A
Sidewalk required	6 feet (both sides)	F
On-street parking	8 feet	C
Paved shoulders	4 feet where a travel, turning, parking lane is not located adjacent to a curb	H

(e) Lot width and block length

Lot width	no minimum
Block Length	250 feet minimum to 450 feet maximum

(f) Supplemental Planning Board review triggers SLVC

[1] Proposed or existing buildings not meeting minimum RBZ SLVD street frontage requirement

[2] Proposed projects not utilizing SLVC required parking spaces

[3] Proposed buildings more than 50 feet along RBZ SLVD street frontage

[4] Proposed lot less than 20,000 square feet

(g) Sebago Lake Village Core (SLVC) allowed land uses and permit requirements (SLVC).

- [1] Refer to the Sebago Lake Village District Regulating Plan for the location of SLVD street frontage types to determine permitted uses.
- [2] Nonconforming uses and structures existing as of the date of adoption of the Sebago Lake Village District are subject to standards of Article V (Nonconforming Uses). When site plan review is triggered by a proposed change in use and/or structure, the use and/or structure shall comply with applicable SLVD street frontage type standards to the greatest extent practicable as determined by the Planning Board.
- [3] Planning Board review is required for new construction, expansion, reconstruction and subdivision, but only Code Enforcement Officer approval is required for subsequent changes in use in existing structures that meet all of the following:
 - [a] Do not increase anticipated traffic volumes by more than 10%;
 - [b] Do not change vehicular traffic patterns;
 - [c] Do not increase parking requirements by more than 10%;
 - [d] Do not change the exterior visual appearance of buildings and continue to meet the applicable SLVD street frontage type standards; and
 - [e] That are allowed uses in the applicable SLVD street frontage type.
- [4] Permitted uses, not requiring site plan review, shall be as follows. Such uses shall require approval from the Code Enforcement Officer only:
 - [a] Accessory apartments.
 - [b] Accessory uses and buildings.
 - [c] Agriculture.
 - [d] Dwelling, one unit. (must comply with § 181-7.1 F.1.a)
 - [e] Dwelling, two unit. (must comply with § 181-7.1 F.1.a)
 - [f] Family apartment. (must comply with § 181-7.1 F.1.a)
 - [g] Home occupation Level 1.
 - [h] Home occupation Level 2.
 - [i] Home occupation Level 3.

- [j] Home retail sales.
 - [k] Outdoor display and sales.
 - [l] Solar energy system, roof-mounted.
 - [m] Solar energy system, small-scale.
 - [n] Tradesman.
 - [o] Yard or garage sale.
- [5] Permitted uses requiring site plan or subdivision review shall be as follows. Such uses shall require Planning Board approval, in accordance with Part **2** or Part **3** of this chapter:
- [a] Adult day care.
 - [b] Art center.
 - [c] Art center - indoor.
 - [d] Art gallery/museum.
 - [e] Bed-and-breakfast.
 - [f] Business professional building.
 - [g] Church.
 - [h] Convenience store.
 - [i] Day-care home.
 - [j] Dwelling, multi family. (must comply with § 181-7.1 F.1.a)
 - [k] Dwelling, three family. (must comply with § 181-7.1 F.1.a)
 - [l] Elderly housing.
 - [m] Fueling station.
 - [n] Home care services.
 - [o] Medical clinics.

[p] Municipal uses.

[q] Public utility.

[r] Restaurant (includes outdoor dining).

[s] Retail businesses (drive-through facility allowed only behind the building).

(h) SLVD streetscape standards (SLVC).

[1] Sidewalks and curbs:

[a] Brick, brick pavers and/or concrete (pervious/porous materials encouraged; fly ash concrete encouraged).

[b] Vertical granite curbing.

[2] Lighting:

[a] Light-emitting diodes (LEDs) encouraged.

[b] Full cutoff fixtures required.

[c] Pedestrian-scaled lighting 30 feet on center or SLVD street-scaled lighting a maximum of 90 feet on center staggered along both sides of the SLVD street.

[3] SLVD street trees: Salt and urban tolerant. Three-inch minimum caliper. Thirty feet on center. Tree trunk shall be a minimum of three feet from curblane or edge of shoulder.

[4] Signage:

[a] Building-mounted in signable area: maximum 32 square feet.

[b] Building-mounted by entrances serving second floor: maximum four square feet, including all tenants.

[c] Projecting: minimum eight-foot clearance; maximum six square feet.

[d] Sandwich boards: four square feet maximum.

[e] No signs permitted above second-story floor, including signs in windows.

[f] Sandwich boards permitted during hours of operation: may not impede pedestrian movement.

[g] Only externally lit signs are permitted with the use of light-emitting diodes (LEDs) encouraged.

[h] Cutoff light fixtures required.

[i] Wood, composite, or metal materials only.

[j] Neon signs not permitted.

[5] Low-impact development standards: Utilize as feasible as defined in § **181-7.1A**.

(2) SLV Fringe (SLVF) standards.

(a) Maximum building footprint: 4,000sqft

(b) Parking drives must be a minimum of 16 feet in width or as required by the Standish Fire Department. Shared drives are encouraged between adjacent lots to minimize curb cuts.

(c) SLVF street space standards (SLVF)

Location (width distances)

Travel lanes	12 feet (two lanes)	A
Sidewalk required	5 feet (both sides)	F
Paved shoulders	5 feet (both sides)	H

(d) Lot width and block length

Lot width	no minimum
Block Length	250 feet minimum to 450 feet maximum

(e) Supplemental Planning Board review triggers (SLVF).

[1] Proposed or existing buildings not meeting minimum RBZ SLVD street frontage requirement

[2] Proposed projects not utilizing SLVC required parking spaces

[3] Proposed buildings more than 50 feet along RBZ SLVD street frontage

[4] Proposed lot less than 20,000 square feet

(e) Sebago Lake Village Fringe (SLVF) allowed land uses and permit requirements (SLVF).

- [1] Refer to the Sebago Lake Village District Regulating Plan for the location of SLVD street frontage types to determine permitted uses.
- [2] Nonconforming uses and structures existing as of the date of adoption of the Sebago Lake Village District are subject to standards of Article V (Nonconforming Uses). When site plan review is triggered by a proposed change in use and/or structure, the use and/or structure shall comply with applicable SLVD street frontage type standards to the greatest extent practicable as determined by the Planning Board.
- [3] Planning Board review is required for new construction, expansion, reconstruction and subdivision, but only Code Enforcement Officer approval is required for subsequent changes in use in existing structures that meet all of the following:
 - [a] Do not increase anticipated traffic volumes by more than 10%;
 - [b] Do not change vehicular traffic patterns;
 - [c] Do not increase parking requirements by more than 10%;
 - [d] Do not change the exterior visual appearance of buildings and continue to meet the applicable street frontage type standards; and
 - [e] That are allowed uses in the applicable SLVD street frontage type.
- [4] Permitted uses, not requiring site plan review, shall be as follows. Such uses shall require approval from the Code Enforcement Officer only:
 - [a] Accessory apartments.
 - [b] Accessory uses and buildings.
 - [c] Agriculture.
 - [d] Dwelling, single family.
 - [e] Dwelling, two family.
 - [f] Family apartment.
 - [g] Home occupation Level 1.
 - [h] Home occupation Level 2.
 - [i] Home occupation Level 3.

- [j] Home retail sales.
 - [k] Outdoor display and sales.
 - [l] Solar energy system, roof-mounted.
 - [m] Solar energy system, small-scale.
 - [n] Tradesman.
 - [o] Yard or garage sale.
- [5] Permitted uses requiring site plan or subdivision review shall be as follows. Such uses shall require Planning Board approval, in accordance with Part **2** or Part **3** of this chapter:
- [a] Adult day care.
 - [b] Art center.
 - [c] Art center - indoor.
 - [d] Art gallery/museum.
 - [e] Bed-and-breakfast.
 - [f] Business professional building.
 - [g] Church.
 - [h] Convenience store.
 - [i] Collision repair garage.
 - [j] Day-care center.
 - [k] Day-care home.
 - [l] Dwelling, multi-family.
 - [m] Dwelling, three family.
 - [n] Elderly housing.
 - [o] Fueling station.

[p] Home care services.

[q] Inns.

[r] Manufacturing, light.

[s] Mechanical repair garage.

[t] Municipal uses.

[u] Public utility.

[v] Residential care facility.

[w] Restaurant (includes outdoor dining).

[x] Restaurant with drive through (drive-through facility allowed only behind the building).

[y] Retail businesses (drive-through facility allowed only behind the building).

[z] School.

[aa] Veterinary clinic.

(f) SLVD streetscape standards (SLVF).

[1] Sidewalks and paths:

[a] Brick, brick pavers, concrete and/or bituminous concrete (pervious/porous materials encouraged; fly ash concrete encouraged).

[b] Stone dust or similar surface for paths.

[2] Lighting:

[a] Light-emitting diodes (LEDs) encouraged.

[b] Full cutoff fixtures required.

[c] Pedestrian-scaled lighting 30 feet on center or SLVD street-scaled lighting a maximum of 90 feet on center staggered along both sides of the SLVD street.

[3] SLVD street trees: Salt and urban tolerant. Three-inch minimum caliper. Thirty feet on

center. Tree trunk shall be a minimum of three feet from curblineline or edge of shoulder.

[4] Signage:

[a] Building-mounted in signable area: maximum 32 square feet.

[b] Building-mounted by entrances serving second floor: maximum four square feet, including all tenants.

[c] Projecting: minimum eight-foot clearance; maximum six square feet.

[d] Pole or ground-mounted: maximum 32 square feet and maximum height of eight feet.

[e] No signs permitted above second-story floor, including signs in windows.

[f] Only externally lit signs are permitted with the use of light-emitting diodes (LEDs) encouraged.

[g] Cutoff light fixtures required.

[h] Wood, composite, or metal materials only.

[i] Neon signs not permitted.

[5] Low-impact development standards: Utilize as feasible as defined in § **181-7.1A**.

(3) SLV Gateway (SLVG) standards.

(a) Maximum building footprint: 5,000sqft

(b) Parking drives must be a minimum of 16 feet in width or as required by the Standish Fire Department. Shared drives are encouraged between adjacent lots to minimize curb cuts.

(c) SLVCD street space standards (SLVG)

Location (width distances)

Travel lanes 12 feet (two lanes)

Paved shoulder 5 feet (both sides)

Sidewalk or path required 6 feet (both sides)

along Chadbourne Road

(d) Lot width and block length

Lot width No minimum

Block length 250 feet minimum to 450 feet maximum

(e) Supplemental Planning Board review triggers SLVG

[1] Proposed or existing buildings not meeting minimum RBZ SLVD street frontage requirement

[2] Proposed projects not utilizing SLVC required parking spaces

[3] Proposed buildings more than 50 feet along RBZ SLVD street frontage

[4] Proposed lot less than 20,000 square feet

(e) Sebago Lake Village Gateway (SLVG) allowed land uses and permit requirements (SLVG).

[1] Refer to the Sebago Lake Village District Regulating Plan for the location of SLVD street frontage types to determine permitted uses.

[2] Nonconforming uses and structures existing as of the date of adoption of the Sebago Lake Village District are subject to standards of Article V (Nonconforming Uses). When site plan review is triggered by a proposed change in use and/or structure, the use and/or structure shall comply with applicable SLVD street frontage type standards to the greatest extent practicable as determined by the Planning Board.

[3] Planning Board review is required for new construction, expansion, reconstruction and subdivision, but only Code Enforcement Officer approval is required for subsequent changes in use in existing structures that meet all of the following:

[a] Do not increase anticipated traffic volumes by more than 10%;

[b] Do not change vehicular traffic patterns;

[c] Do not increase parking requirements by more than 10%;

[d] Do not change the exterior visual appearance of buildings and continue to meet the applicable SLVD street frontage type standards; and

[e] That are allowed uses in the applicable SLVD street frontage type.

[4] Permitted uses, not requiring site plan review, shall be as follows. Such uses shall require approval from the Code Enforcement Officer only;

[a] Accessory apartments.

- [b] Accessory uses and buildings.
 - [c] Agriculture.
 - [d] Dwelling, single family.
 - [e] Dwelling, two family.
 - [f] Family apartment.
 - [g] Home occupation Level 1.
 - [h] Home occupation Level 2.
 - [i] Home occupation Level 3.
 - [j] Home retail sales.
 - [k] Outdoor display and sales.
 - [l] Solar energy system, roof-mounted.
 - [m] Solar energy system, small-scale.
 - [n] Tradesman.
 - [o] Yard or garage sale.
- [5] Permitted uses requiring site plan or subdivision review shall be as follows. Such uses shall require Planning Board approval, in accordance with Part 2 or Part 3 of this chapter:
- [a] Adult day care.
 - [b] Art center.
 - [c] Art center - indoor.
 - [d] Art gallery/museum.
 - [e] Bed-and-breakfast.
 - [f] Business professional building.
 - [g] Church.

- [h] Day-care center.
 - [i] Day-care home.
 - [j] Dwelling, multi-family.
 - [k] Dwelling, three family.
 - [l] Elderly housing.
 - [m] Flea market.
 - [n] Greenhouses.
 - [o] Home care services.
 - [p] Inns.
 - [q] Manufacturing, light.
 - [r] Municipal uses.
 - [s] Public utility.
 - [t] Residential care facility.
 - [u] Restaurant (includes outdoor dining).
 - [v] Retail businesses with less than 2,000 square feet and no drive-through service.
 - [w] School.
 - [x] Veterinary clinic.
 - [y] Village housing.
- (f) SLVD streetscape standards (SLVG).
- [1] Sidewalks and paths:
 - [a] Brick, brick pavers, concrete and/or bituminous concrete (pervious/porous materials encouraged; fly ash concrete encouraged).
 - [b] Stone dust or similar surface for paths.

[2] Lighting:

[a] Light-emitting diodes (LEDs) encouraged.

[b] Full cutoff fixtures required.

[3] SLVD street trees: Salt and urban tolerant. Three-inch minimum caliper. Thirty feet on center. Tree trunk shall be a minimum of three feet from curblineline or edge of shoulder.

[4] Signage:

[a] Building-mounted in signable area: maximum 32 square feet.

[b] Building-mounted by entrances serving second floor: maximum four square feet, including all tenants.

[c] Projecting: minimum eight-foot clearance; maximum six square feet.

[d] Pole or ground-mounted: maximum 32 square feet and maximum height of eight feet.

[e] No signs permitted above second-story floor, including signs in windows.

[f] Only externally lit signs are permitted with the use of light-emitting diodes (LEDs) encouraged.

[g] Cutoff light fixtures required.

[h] Wood, composite, or metal materials only.

[i] Neon signs not permitted.

[5] Low-impact development standards: Utilize as feasible as defined in § 181-7.1A.

(4) SLV Residential Connector (SLVRC) standards.

(a) No maximum building footprint

(b) Parking drives must be a maximum of 12 feet in width or as required by the Standish Fire Department.

(c) SLVRC street space standards (SLVRC)

Location (width distances)

Roadway	16 feet	B
Paved bike lanes	5 feet (both sides)	M
Grass shoulder	5 feet (both sides)	I

Rain Garden

Varies (one side)

K

(d) Lot width and block length

Lot width 120 feet minimum

Block length 400 feet minimum to 1,200 feet maximum

(e) SLVD Residential Connector allowed land uses and permit requirements (SLVRC).

[1] Refer to the Sebago Lake Village District Regulating Plan for the location of SLVD street frontage types to determine permitted uses.

[2] Uses not listed are not permitted. Nonconforming uses existing as of the date of adoption of the Sebago Lake Village District are subject to standards of Article V (Nonconforming Uses). When site plan review is triggered by a proposed change in use and/or structure, the use and/or structure shall comply with applicable SLVD street frontage type standards to the greatest extent practicable as determined by the Planning Board.

[3] Planning Board review is required for new construction, expansion, reconstruction and subdivision, but only Code Enforcement Officer approval is required for subsequent uses in existing structures that meet all of the following:

[a] Do not increase anticipated traffic volumes by more than 10%;

[b] Do not change vehicular traffic patterns;

[c] Do not increase parking requirements by more than 10%;

[d] Do not change the exterior visual appearance and continues to meet the applicable SLVD street frontage type standards; and

[e] That are allowed uses in the applicable SLVD street frontage type.

[4] Permitted uses, not requiring site plan review, shall be as follows. Such uses shall require approval from the Code Enforcement Officer only:

[a] Accessory apartment.

[b] Accessory uses and buildings.

[c] Agriculture.

[d] Dwelling, single family.

[e] Dwelling, two family.

- [f] Family apartment.
 - [g] Home occupation Level 1.
 - [h] Home occupation Level 2.
 - [i] Home occupation Level 3.
 - [j] Home retail sales.
 - [k] Outdoor display and sales.
 - [l] Solar energy system, roof-mounted.
 - [m] Solar energy system, small-scale.
 - [n] Tradesman.
 - [o] Yard or garage sale.
- [5] Permitted uses requiring site plan or subdivision review shall be as follows. Such uses shall require Planning Board approval, in accordance with Part 2 or Part 3 of this chapter:
- [a] Bed-and-breakfast.
 - [b] Business and professional offices in a mixed-use building.
 - [c] Conservation subdivision/development.
 - [d] Day-care home.
 - [e] Dwelling, multi-family.
 - [f] Dwelling, three family
 - [g] Elderly housing.
 - [h] Municipal uses.
 - [i] Public utility.
 - [j] Residential care facility.
 - [k] Village Housing

(f) SLVD streetscape, building and buffering standards (SLVRC).

[1] Sidewalks and curbs:

- [a] Asphalt, brick, brick paver or concrete sidewalks (pervious/porous material encouraged; fly ash concrete encouraged).
- [b] Granite curbing at radius of intersection required.

[2] Lighting:

- [a] Light-emitting diodes (LEDs) encouraged.
- [b] Full cutoff fixtures required.
- [c] SLVD street-scaled lighting required at intersections.
- [d] Pedestrian lighting (optional) 30 feet to 50 feet on center.

[3] SLVD street trees: Salt and urban tolerant. Three-inch minimum caliper, 30 feet to 50 feet on center. Plant in grass shoulder. Three feet clear of curblineline or edge of shoulder.

[4] Buffering:

- [a] On-site parking for nonresidential uses shall be buffered with plantings and fencing to minimize visual impacts and glare from headlights.
- [b] Waste storage for all shall not be visible from the SCD street and buffered from abutters.

[5] Signage (property cannot have both post-mounted and projecting signage):

- [a] Single-post-mounted: maximum six square feet: bottom of sign no lower than six feet and top no higher than eight feet.
- [b] Building-mounted by entrances serving second floor: maximum four square feet, including all tenants.
- [c] Projecting: maximum six square feet.
- [d] No signs permitted above second-story floor, including signs in windows.
- [e] No internally or externally lit signs allowed.

[f] Wood, composite, or metal materials only.

[6] Low-impact development standards: Utilize as feasible as defined in § **181-7.1A**.

[7] Green building design standards: Best management practices for energy efficiency and low-impact development are encouraged. Use of LEED design standards as established by the United States Green Building Council or similar organizations is encouraged.

(5) SLV Residential (SLVR) standards.

(a) No maximum building footprint

(b) Parking drives must be a maximum of 12 feet in width or as required by the Standish Fire Department.

(c) SLVR street space standards (SLVR)

Location (width distances)

Roadway	16 feet	B
Grass shoulder	5 feet (both sides)	I
Rain garden	Varies (both sides)	K

(d) Lot width and block length

Lot width	120 feet
Block length	400 feet minimum to 1,200 feet maximum

(e) SLV Residential allowed land uses and permit requirements (SLVR).

[1] Refer to the Sebago Lake Village District Regulating Plan for the location of SLVD street frontage types to determine permitted uses.

[2] Nonconforming uses and structures existing as of the date of adoption of the Sebago Lake Village District are subject to standards of Article **V** (Nonconforming Uses). When site plan review is triggered by a proposed change in use and/or structure, the use and/or structure shall comply with applicable SLVD street frontage type standards to the greatest extent practicable as determined by the Planning Board.

[3] Planning Board review is required for new construction, expansion, reconstruction and subdivision, but only Code Enforcement Officer approval is required for subsequent uses in existing structures that meet all of the following:

[a] Do not increase anticipated traffic volumes by more than 10%;

[b] Do not change vehicular traffic patterns;

- [c] Do not increase parking requirements by more than 10%;
 - [d] Do not change the exterior visual appearance and continue to meet the applicable SLVD street frontage type standards; and
 - [e] That are allowed uses in the applicable SLVD street frontage type.
- [4] Permitted uses, not requiring site plan review, shall be as follows. Such uses shall require approval from the Code Enforcement Officer only:
- [a] Accessory apartment.
 - [b] Accessory uses and buildings.
 - [c] Agriculture.
 - [d] Dwelling, single family.
 - [e] Dwelling, two family.
 - [f] Family apartment.
 - [g] Home occupation Level 1.
 - [h] Home occupation Level 2.
 - [i] Home occupation Level 3.
 - [j] Home retail sales.
 - [k] Outdoor display and sales.
 - [l] Solar energy system, roof-mounted.
 - [m] Solar energy system, small-scale.
 - [n] Tradesman.
 - [o] Yard or garage sale.
- [5] Permitted uses requiring site plan or subdivision review shall be as follows. Such uses shall require Planning Board approval, in accordance with Part **2** or Part **3** of this chapter:
- [a] Business and professional offices on the upper floors of a mixed-use building.

- [b] Conservation subdivision/development.
 - [c] Day-care home.
 - [d] Dwelling, multi-family.
 - [e] Dwelling, three family
 - [f] Elderly housing.
 - [g] Municipal uses.
 - [h] Public utility.
 - [i] Village Housing
- (f) SLVD streetscape, building and buffering standards (SLVR).
- [1] Sidewalks and curbs:
 - [a] Asphalt, brick, brick paver or concrete sidewalks (pervious/porous material encouraged: fly ash concrete encouraged).
 - [b] Granite curbing at radius required for an intersection with a higher-order street.
 - [2] Lighting:
 - [a] Light-emitting diodes (LEDs) encouraged.
 - [b] Full cutoff fixtures required.
 - [c] SLVD street-scaled lighting required at intersections.
 - [d] Pedestrian lighting (optional) 30 feet to 50 feet on center.
 - [3] SLVD street trees: Salt and urban tolerant. Three-inch minimum caliper, 30 feet to 50 feet on center. Plant in grass shoulder. Three feet clear of curbline or edge of shoulder.
 - [4] Buffering:
 - [a] On-site parking for nonresidential uses shall be buffered with plantings and fencing to minimize visual impacts and glare from headlights.
 - [b] Waste storage shall not be visible from the SLVD street and must be buffered from

abutters.

[5] Signage (property cannot have both post-mounted and projecting signage):

[a] Single-post-mounted: maximum six square feet; bottom of sign no lower than six feet and top no higher than eight feet.

[b] Building-mounted by entrances serving second floor; maximum four square feet, including all tenants.

[c] Projecting: maximum six square feet.

[d] No signs permitted above second-story floor, including signs in windows.

[e] No internally or externally lit signs allowed.

[f] Wood, composite, or metal materials only.

[6] Low impact-development standards: Utilize as feasible as defined in § **181-7.1A**.

[7] Green building design standards: Best management practices for energy efficiency and low-impact development are encouraged. Use of LEED design standards as established by the United States Green Building Council or similar organizations is encouraged.

(6) SLV Lake Access (SLVLA) standards.

(a) No maximum building footprint

(b) SLVLA street space (SLVLA)

Location (width distances)

Roadway	25 feet	B
Trailer Parking	20-30 feet (at least one side)	L

(c) Lot width and block length

Lot with	No minimum
Block length	No minimum or maximum

(d) SLV Lake Access allowed land uses and permit requirements (SLVLA).

[1] Refer to the Sebago Lake Village District Regulating Plan for the location of SLVD street frontage types to determine permitted uses.

[2] Uses not listed are not permitted. Nonconforming uses existing as of the date of adoption of the Sebago Lake Village District are subject to standards of Article V (Nonconforming Uses). When site plan review is triggered by a proposed change in use and/or structure, the use and/or structure shall comply with applicable SLVD street frontage type standards to the greatest extent practicable as determined by the Planning Board.

[3] Planning Board review is required for new construction, expansion, reconstruction and subdivision, but only Code Enforcement Officer approval is required for subsequent uses in existing structures that meet all of the following:

[a] Do not increase anticipated traffic volumes by more than 10%;

[b] Do not change vehicular traffic patterns;

[c] Do not increase parking requirements by more than 10%;

[d] Do not change the exterior visual appearance and continue to meet the applicable SLVD street frontage type standards; and

[e] That are allowed uses in the applicable SLVD street frontage type.

[4] Permitted uses, not requiring site plan review, shall be as follows. Such uses shall require approval from the Code Enforcement Officer only;

[a] Accessory uses and buildings.

[b] Agriculture.

[c] Forestry management.

[d] Timber harvesting.

[5] Permitted uses requiring site plan or subdivision review shall be as follows. Such uses shall require Planning Board approval, in accordance with Part 2 or Part 3 of this chapter:

[a] Municipal uses.

[b] Public utility uses.

(e) SLVD streetscape, building and buffering standards (SLVLA).

[1] Sidewalks and curbs:

[a] Asphalt, brick, brick paver or concrete sidewalks (pervious/porous material

encouraged; fly ash concrete encouraged).

[b] Granite curbing at radius required for an intersection with a higher-order street.

[2] Lighting:

[a] Light-emitting diodes (LEDs) encouraged.

[b] Full cutoff fixtures required.

[c] SLVD street-scaled lighting required at intersections.

[d] Pedestrian lighting (optional) 30 feet to 50 feet on center.

[3] SLVD street trees: Salt and urban tolerant. Three-inch minimum caliper, 30 feet to 50 feet on center. Plant in esplanade. Three feet clear of curblin or edge of shoulder.

[4] Buffering:

[a] On-site parking for nonresidential uses shall be buffered with plantings and fencing to minimize visual impacts and glare from headlights.

[b] Waste storage shall not be visible from the SLVD street and must be buffered from abutters.

[c] Individual boulders or large rocks may only be used as part of an overall landscaping treatment for the buffer.

[5] Signage (property cannot have both post-mounted and projecting signage):

[a] Single-post-mounted: maximum six square feet; bottom of sign no lower than six feet and top no higher than eight feet.

[b] No internally or externally lit signs allowed.

[c] Wood, composite, or metal materials only.

[6] Low-impact development standards: Utilize as feasible as defined in § **181-7.1A**.

[7] Green building design standards: Best management practices for energy efficiency and low-impact development are encouraged. Use of LEED design standards as established by the United States Green Building Council or similar organizations is encouraged.